

CODE SUMMARY

USE AND GENERAL BUILDING LIMITATIONS

301 USE GROUP F-2

301.2 CONSTRUCTION TYPE 3B W/ AUTOMATIC SPRINKLER SYSTEM

301.2.1 HEIGHT MODIFICATIONS: BUILDING HEIGHT MAY INCREASE IN ONE STORY AND 20 FEET

301.2.2 AREA MODIFICATIONS: BUILDING AREA MAY INCREASE 50%

ALLOWED

STORIES

HEIGHT

AREA/FLOOR

RECORD

PROVIDED

1

4 STORIES

60'

13,200

1

0 EXISTING

EXISTING

EXISTING BUILDING HEIGHT AND AREA WILL NOT BE INCREASED

EXISTING

EXISTING

EXISTING

EXISTING

302 TYPE 3B CONSTRUCTION W/ AUTOMATIC SPRINKLER SYSTEM

1 EXTERIOR WALLS

2 FINE SEPARATION ASSEMBLY

3 FINE PARTITIONS

4 SHOCK RESISTANT CONSTRUCTION

5 SMOKE BARRIERS

6 OTHER NON-LOAD BEARING

7 INTERIOR BEAM/VALS

8 STRUCTURAL WALLS

9 FLOOR CONSTRUCTION

10 ROOF CONSTRUCTION

GREATER THAN 18" LESS THAN 20"

MEANS OF EGRESS

1001.2 OCCUPANT LOAD

BASEMENT

1ST FLOOR

2ND FLOOR

3RD FLOOR

1001.2.1 MINIMUM EGRESS WIDTH W/ AUTOMATIC SPRINKLER SYSTEM

WONES PERSON

STAIRWAYS

DOORS, RAMP AND

CORRIDORS

SUBMINDED BY LARGED DIMENSIONS REUOD

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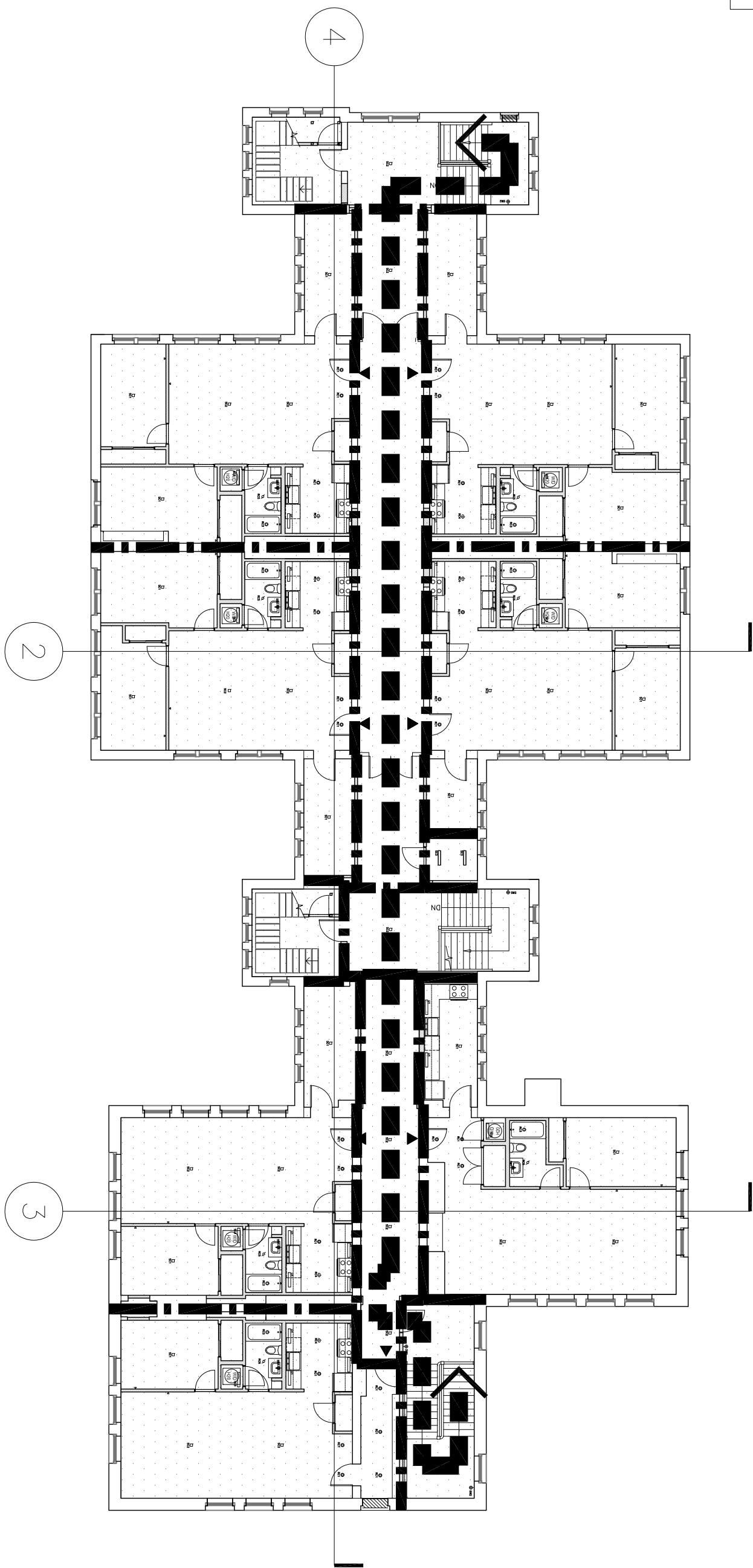
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hayessing.com		CIVIL	
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22-FEB-08		CD/PERMIT SET	
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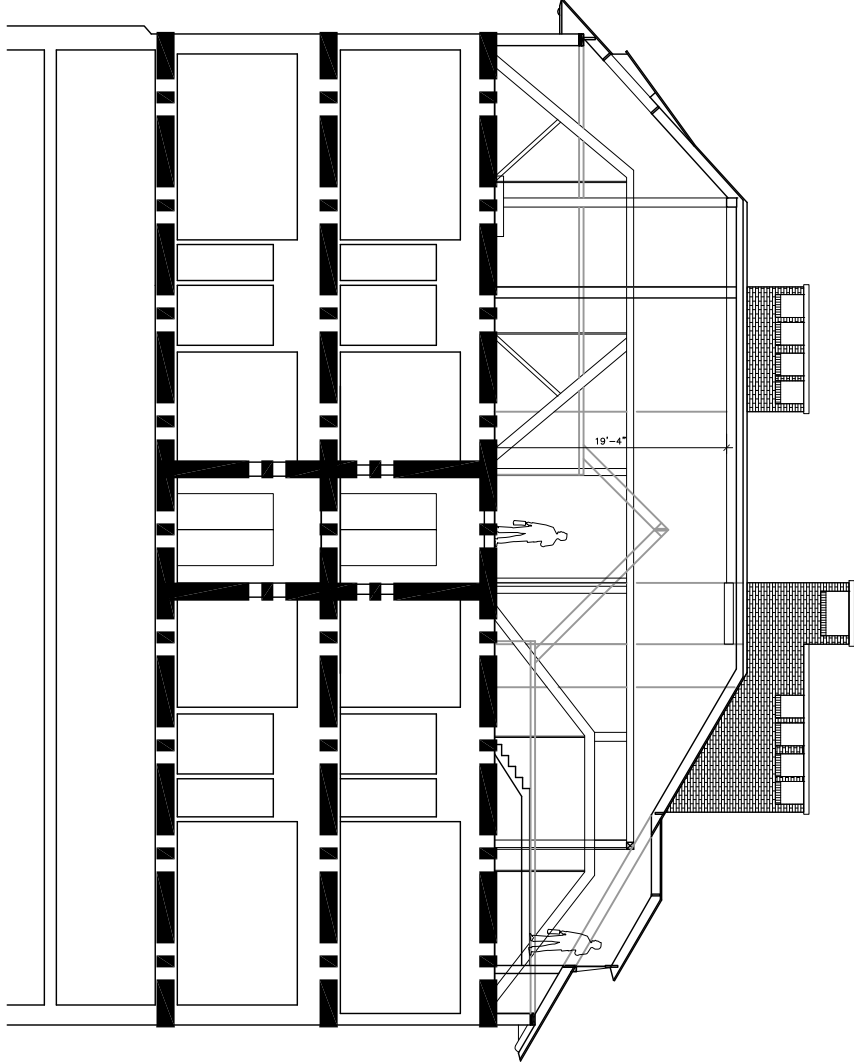
7 SECOND FLOOR

FIRE PARTITIONS & EXIT ROUTES 1/16"=1'-0"



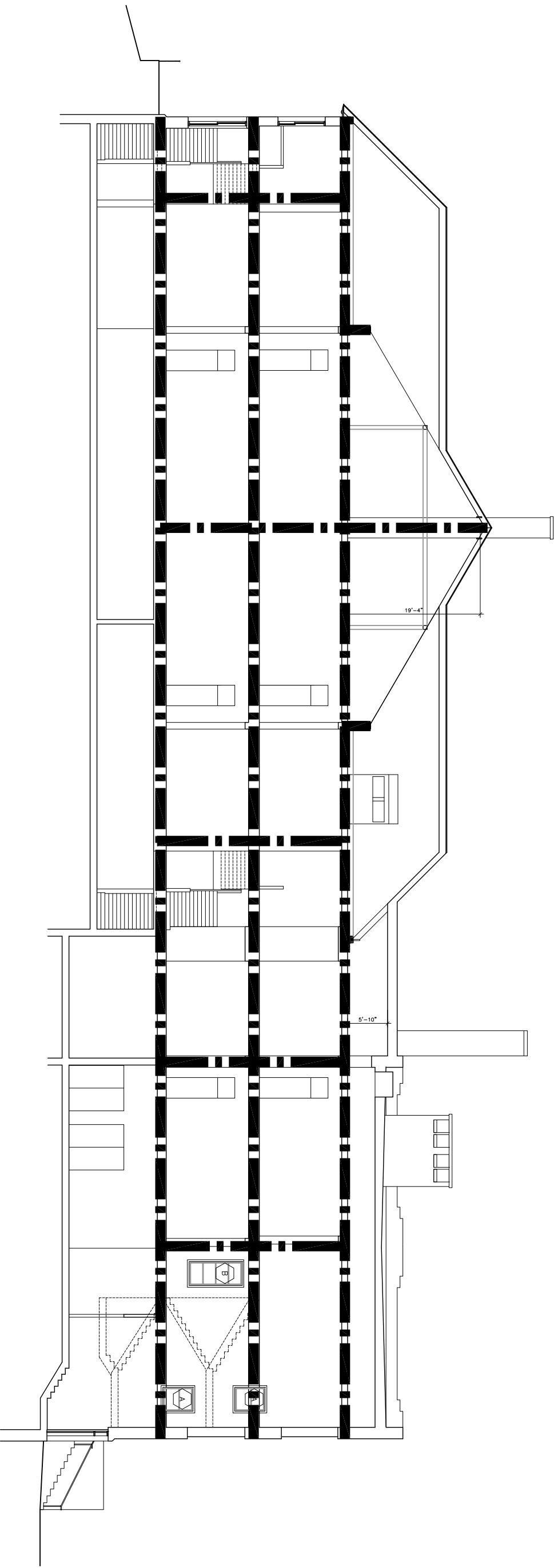
2 SECTION - ORIGINAL BUILDING

FIRE PARTITIONS & EXIT ROUTES 1/16"=1'-0"



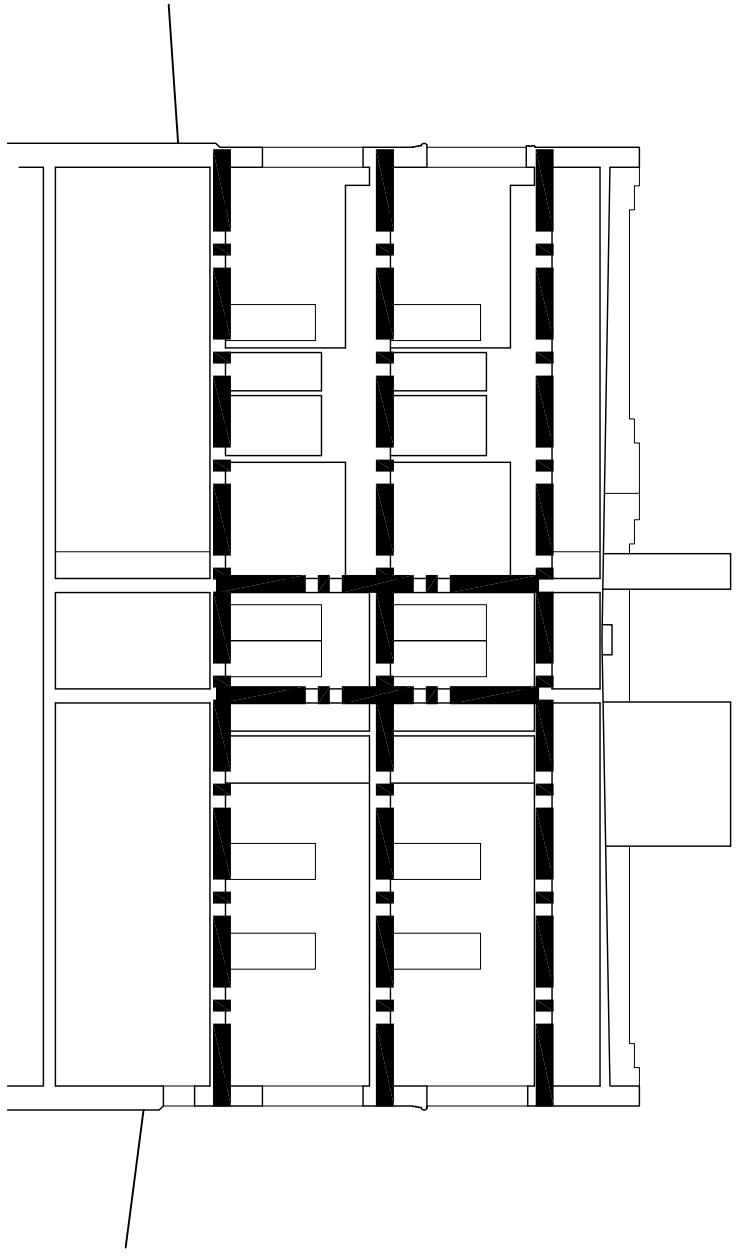
4 LONGITUDINAL SECTION

FIRE PARTITIONS & EXIT ROUTES 1/16"=1'-0"



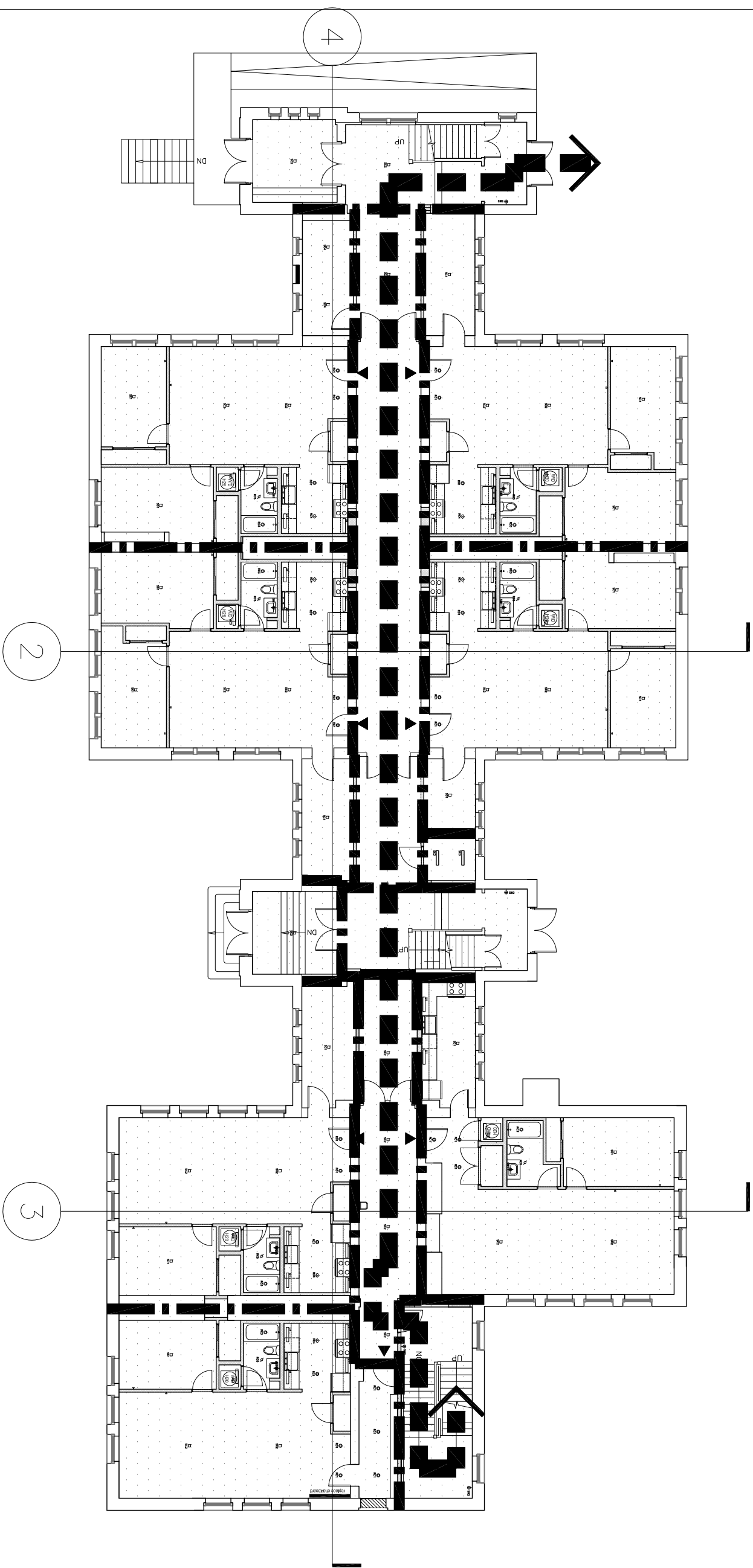
3 SECTION 2 - ADDITION

FIRE PARTITIONS & EXIT ROUTES 1/16"=1'-0"



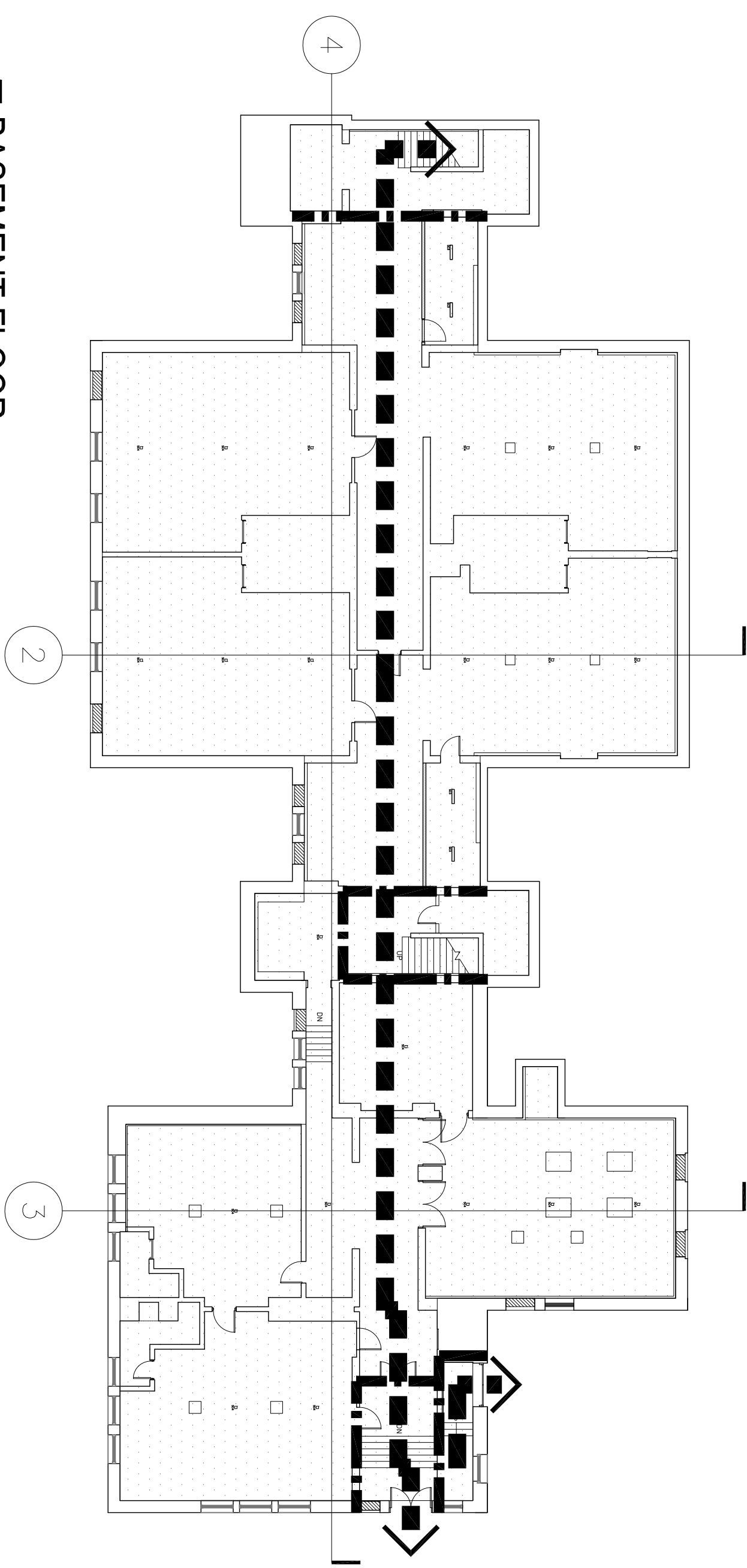
6 FIRST FLOOR

FIRE PARTITIONS & EXIT ROUTES 1/16"=1'-0"



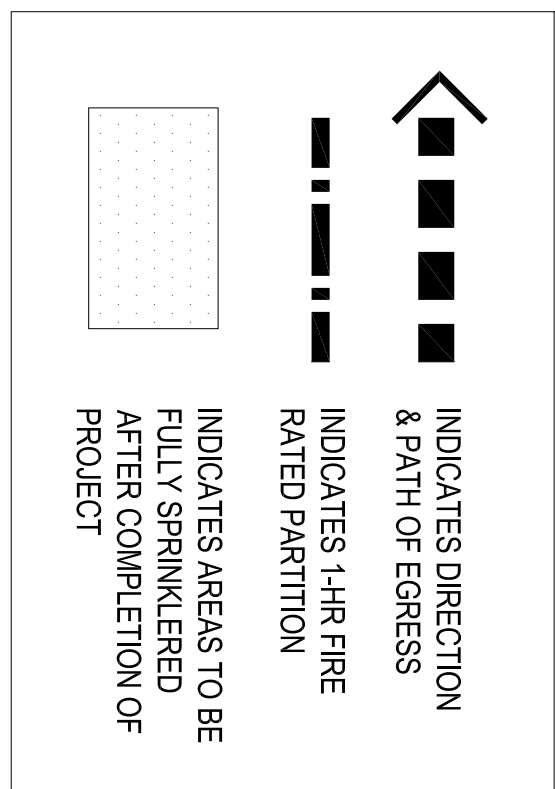
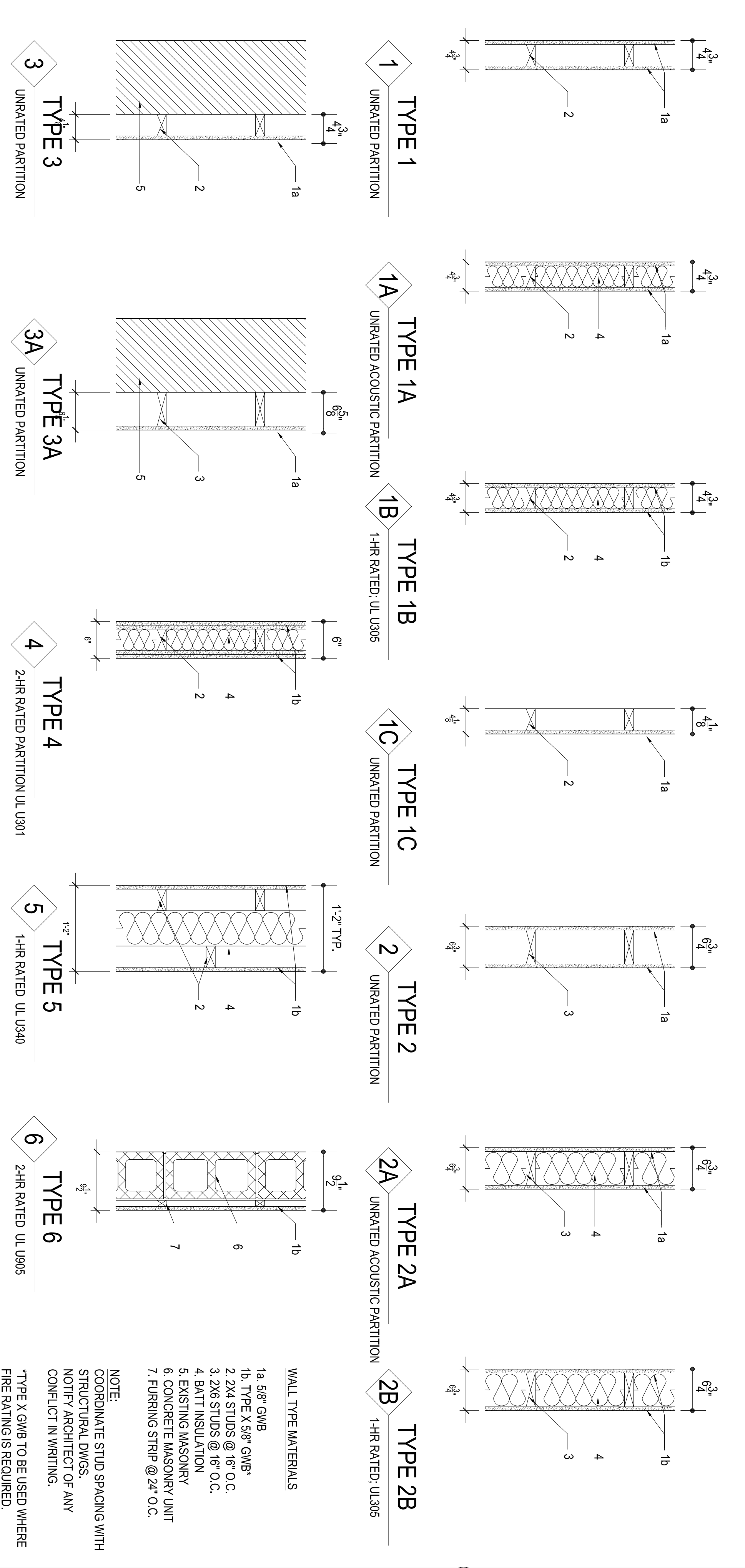
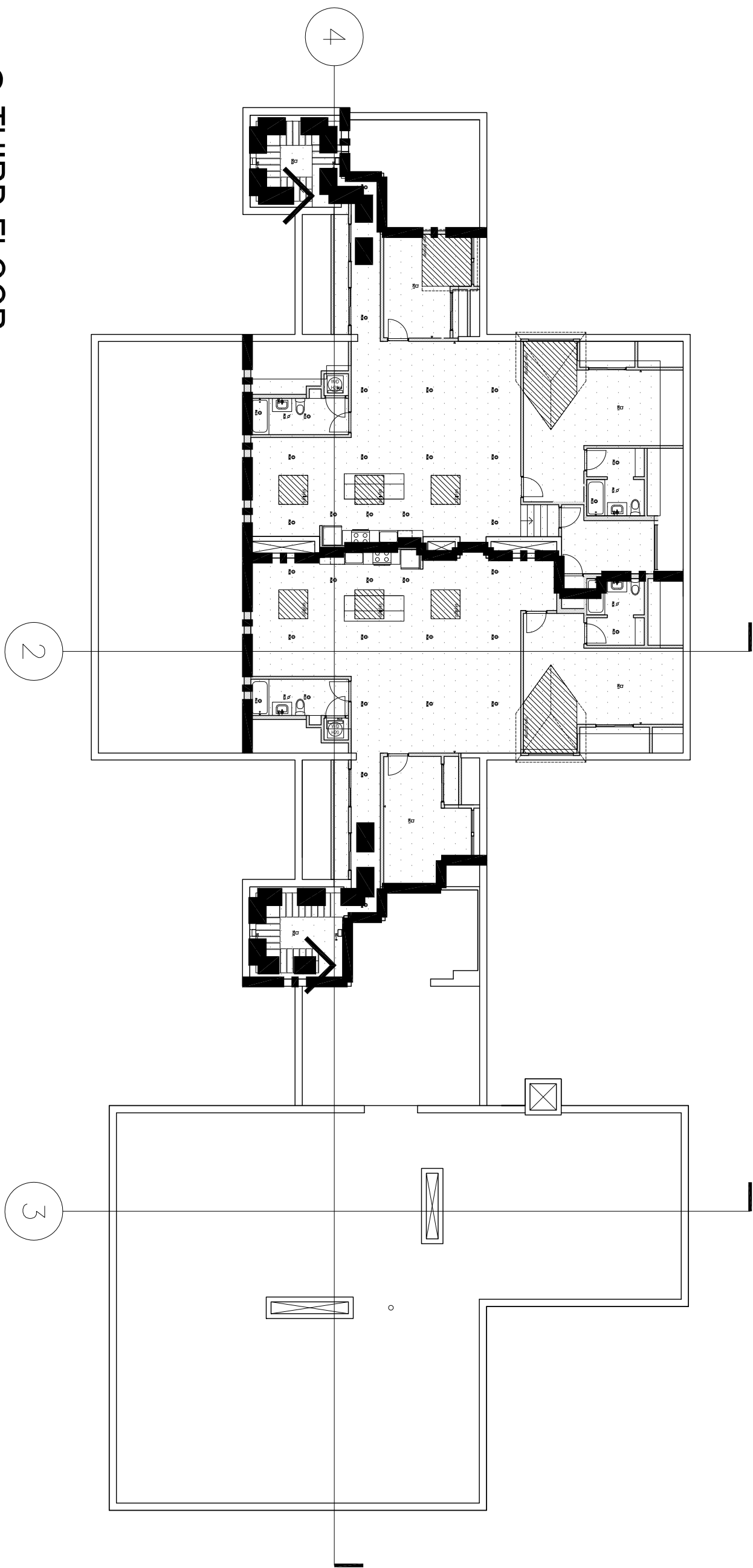
5 BASEMENT FLOOR

FIRE PARTITIONS & EXIT ROUTES 1/16"=1'-0"



8 THIRD FLOOR

FIRE PARTITIONS & EXIT ROUTES 1/16"=1'-0"



SCHOOL
HOUSE LOFTS
DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT

LMM REALTY LLC
154 BROADWAY
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OWNER

utile

ARCHITECTURE + URBAN DESIGN
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utilidesign.com

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CONTRACTOR

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richmondsso.com

STRUCTURAL

ALLIED CONSULTING
215 BOSTON POST ROAD
SILVERBURY, MA 01778
T 978 443-7888 F 978 443-4636
alliedconsulting.net

FIRE ALARM

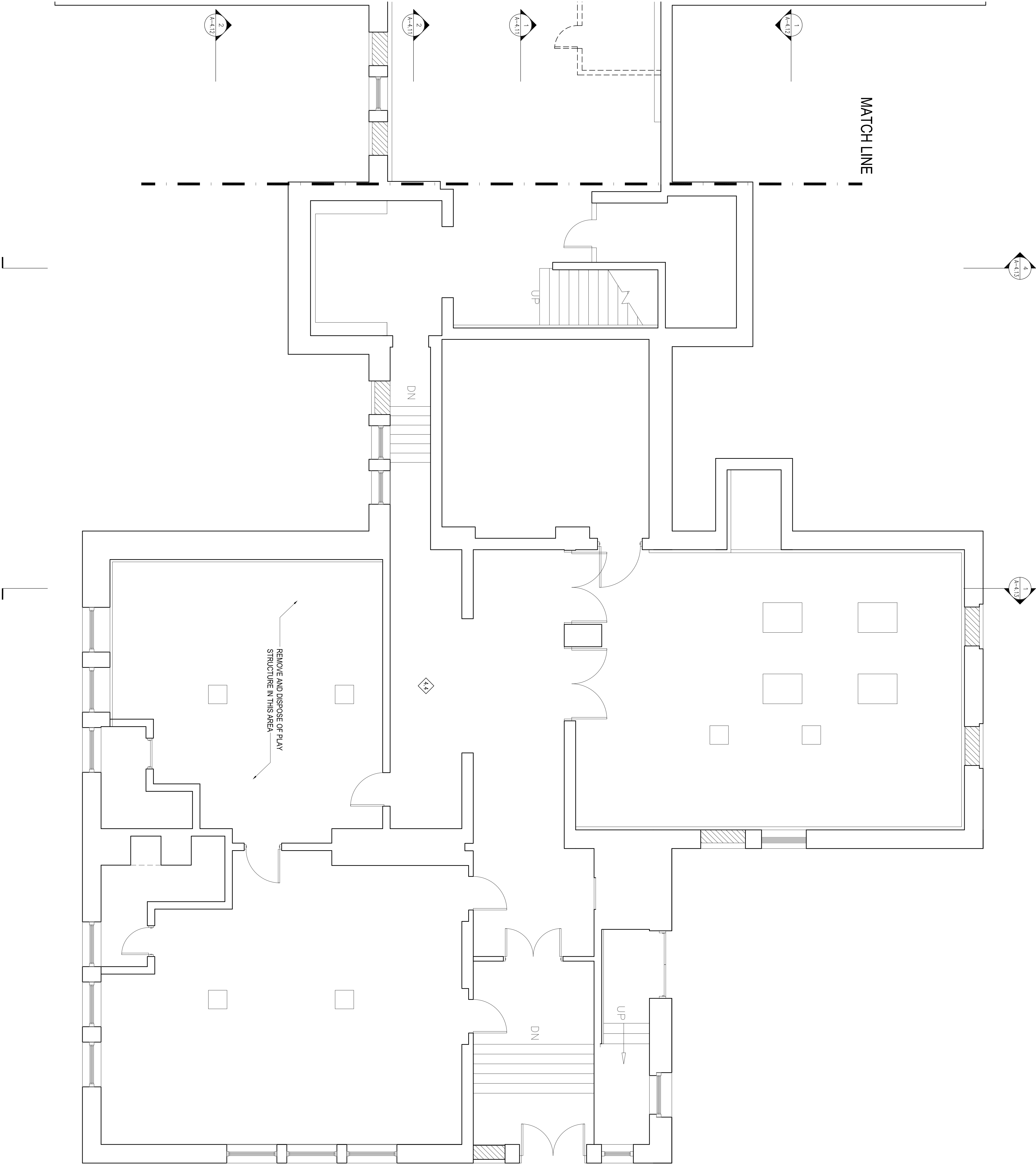
HAYES ENGINEERING, INC.
602 SALEM STREET
WAKEFIELD, MA 01880
T 781 246-2800 F 781 246-7596
hayeseng.com

CIVIL

KEYNOTES

1. REMOVE WALL INCLUDING DOORS, WINDOWS, ARCHES, AND STRUCTURAL PARTS OR COORDINATION.
- 1.2. REMOVE BRICK OR PANELS IN EXISTING WINDOW OPENING.
- 1.3. REMOVE EXISTING WINDOW OR DOOR, AND SILL AND LOWER WINDOW OPENING AS INDICATED TO 4" A.F.F.
- 1.4. REMOVE EXISTING STAIR.
- 1.5. DETERMINE STRUCTURAL NECESSITY OF CORRIDOR ARCHES. REMOVE ARCHES TO UNDERSE OF DOORWAY AND THE DOORS IN THESE LOCATIONS. REMOVE ARCHES TO UNDERSE OF DOORWAY AND THE DOORS IN THESE LOCATIONS. ACCOMMODATE NEW OPENINGS. CUT INTO EXISTING WALL TO ACCOMMODATE NEW WINDOW AND WALL CONSTRUCTION.
- 2.1. REMOVE AND REFRAME ROOF IN THIS AREA TO ACCOMMODATE NEW SKYLIGHTS.
- 2.2. REMOVE CEILING INCLUDING CEILING COVERINGS AND STRUCTURE TO ACCOMMODATE NEW STAIR, BRACKS, AND MECHANICAL DRAINAGE FOR PERFORATE BRACKS.
3. REMOVE EXISTING LIGHT FIXTURES.
4. REMOVE EXISTING PLUMBING FIXTURES + CAP.
- 4.3. REMOVE EXISTING MECHANICAL PIPING AND DUCTWORK AT CEILING.
- 4.4. REMOVE EXISTING COUNTERTOP AND CABINETS
- 5.1. REMOVE EXISTING DOOR AND FRAME.
- 5.2. CAREFULLY REMOVE EXISTING FIRE DOORS, THRESHOLDS AND FRAMES TO BE REUSED.
- 5.3. REMOVE EXISTING PLUMBING WALL INCLUDING STOPS AND FINISHES. STRUCTURAL WALL BEHIND EXISTING WANSKOTTING AND TRAIL.
- 5.4. CAREFULLY REMOVE AND STORE EXISTING LIGHT FIXTURES FOR REUSE.
- 5.5. CAREFULLY REMOVE AND STORE EXISTING BUILT-IN CABINET FOR REUSE.
- 5.6. CAREFULLY REMOVE AND STORE EXISTING WOOD DOOR, TRANSOM AND FRAME FOR REUSE.

1. ALL EXISTING TRIM, WANSKOTTING, CHALKBOARDS ETC. TO REMAIN IN PLACE, EXCEPT IN SPECIFIC LOCATIONS NOTED ON DEMO PLANS.



BASEMENT DEMOLITION PLAN / EAST

1/4" = 1'-0"

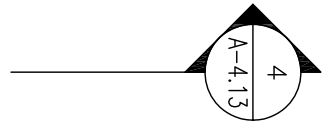
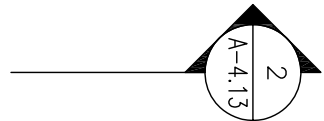
PROJECT NORTH



BASEMENT
DEMOLITION PLAN

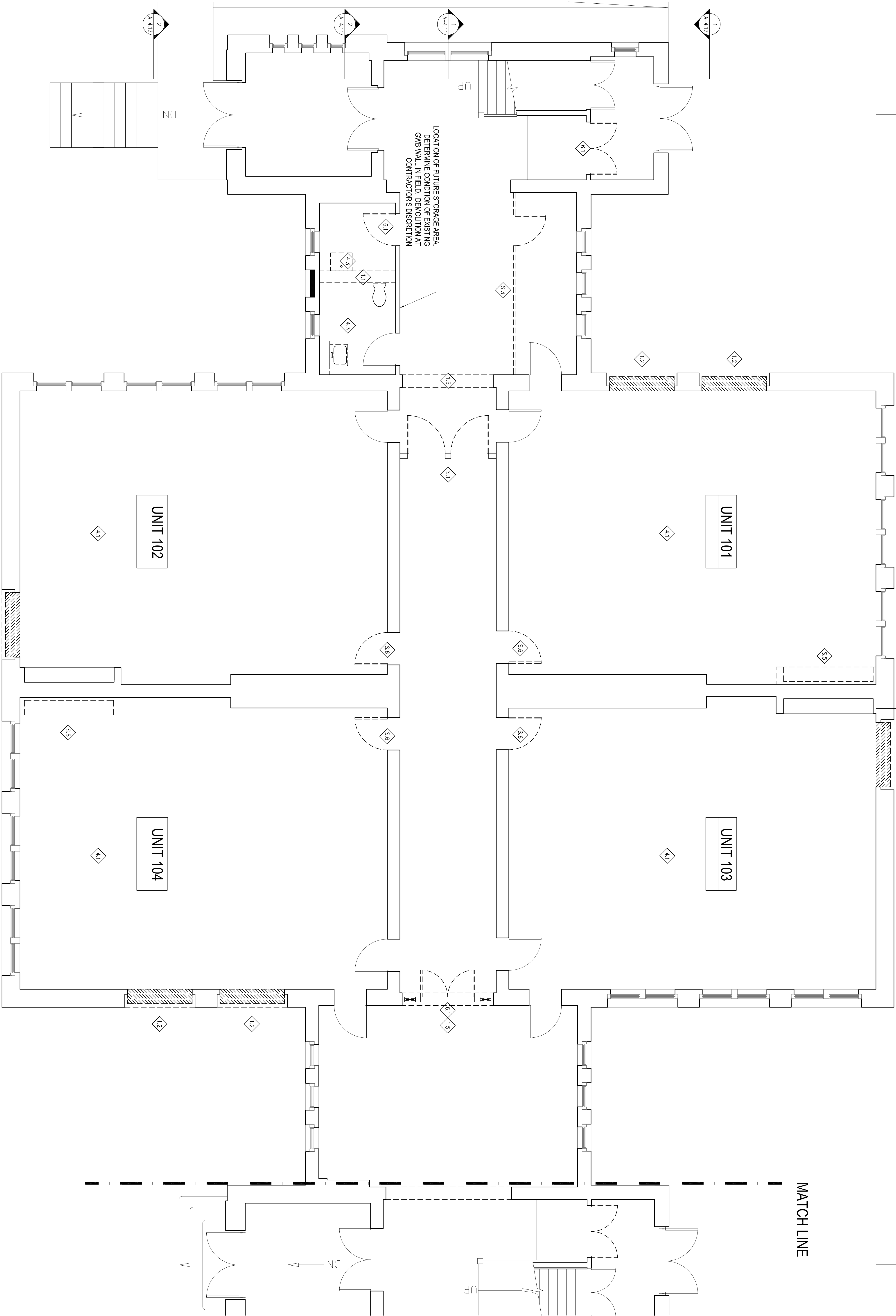
SCALE	DATE
1/4" = 1'-0"	0707
UTILE PROJECT NUMBER	DRAWING NUMBER

A-1.10b



1. ALL EXISTING TRIM, WAINSCOTTING, CHALKBOARDS ETC. TO REMAIN IN PLACE EXCEPT IN SPECIFIC LOCATIONS NOTED ON DEMO PLANS.

MATCH LINE



KEYNOTES

1. REMOVE WALL INCLUDING DOORS, WINDOWS, AND TRIM. REMOVE EXISTING DOOR AND WINDOW COORDINATION.
2. REMOVE BRICK OR PANELS IN EXISTING WINDOW OPENING.
3. REMOVE EXISTING WINDOW OR DOOR, AND SILL AND LOWER WINDOW OPENING IS INDICATED TO 4" A.F.F.
4. REMOVE EXISTING STAIR.
5. DETERMINE STRUCTURAL NECESSITY OF CORRIDOR ARCHES. REMOVE ARCHES TO UNDERSE OF DOORWAY AND PRE DOORS IN THESE LOCATIONS.
6. REMOVE EXISTING CEILING, WALL, AND FLOORING. ACCOMMODATE NEW OWNERS. CUT INTO EXISTING WALL TO ACCOMMODATE NEW WINDOW AND WALL CONSTRUCTION.
7. REMOVE AND REFRAME ROOF IN THIS AREA TO ACCOMMODATE NEW SLOPES.
8. REMOVE CEILING INCLUDING CEILING COVERINGS AND STRUCTURE TO ACCOMMODATE NEW STAIR, BRACING, AND FLOORING. ACCOMMODATE NEW OWNERS. CUT INTO EXISTING WALL TO ACCOMMODATE NEW WINDOW AND WALL CONSTRUCTION.
9. REMOVE EXISTING LIGHT FIXTURES.
10. REMOVE EXISTING PLUMBING FIXTURES + CAP.
11. REMOVE EXISTING MECHANICAL PIPING AND DUCTWORK AT CEILING.
12. REMOVE EXISTING COUNTERTOP AND CABINETS.
13. REMOVE EXISTING DOOR AND FRAME.
14. CAREFULLY REMOVE EXISTING FIRE DOORS, THRESHOLS AND FRAMES TO BE REUSED.
15. REMOVE EXISTING FLOORING WALL INCLUDING STOPS AND FINISHES. STRUCTURAL WALL BEHIND TO REMAIN.
16. CAREFULLY REMOVE PARTITION AND STORE EXISTING WAINSCOTTING AND TRIM.
17. CAREFULLY REMOVE AND STORE EXISTING LIGHT FIXTURES FOR REUSE.
18. CAREFULLY REMOVE AND STORE EXISTING BUILT-IN CABINET FOR REUSE.
19. CAREFULLY REMOVE AND STORE EXISTING WOOD DOOR, TRANSOM AND FRAME FOR REUSE.

FIRST FLOOR DEMOLITION PLAN / WEST



SCHOOL HOUSE LOFTS
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LMM REALTY LLC
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hayeseng.com

REVISIONS

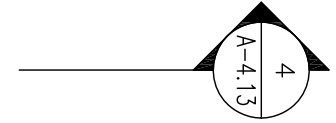
NO.	DATE	DESCRIPTION
1	22-FEB-08	CDD PERMIT SET

FIRST FLOOR DEMOLITION PLAN

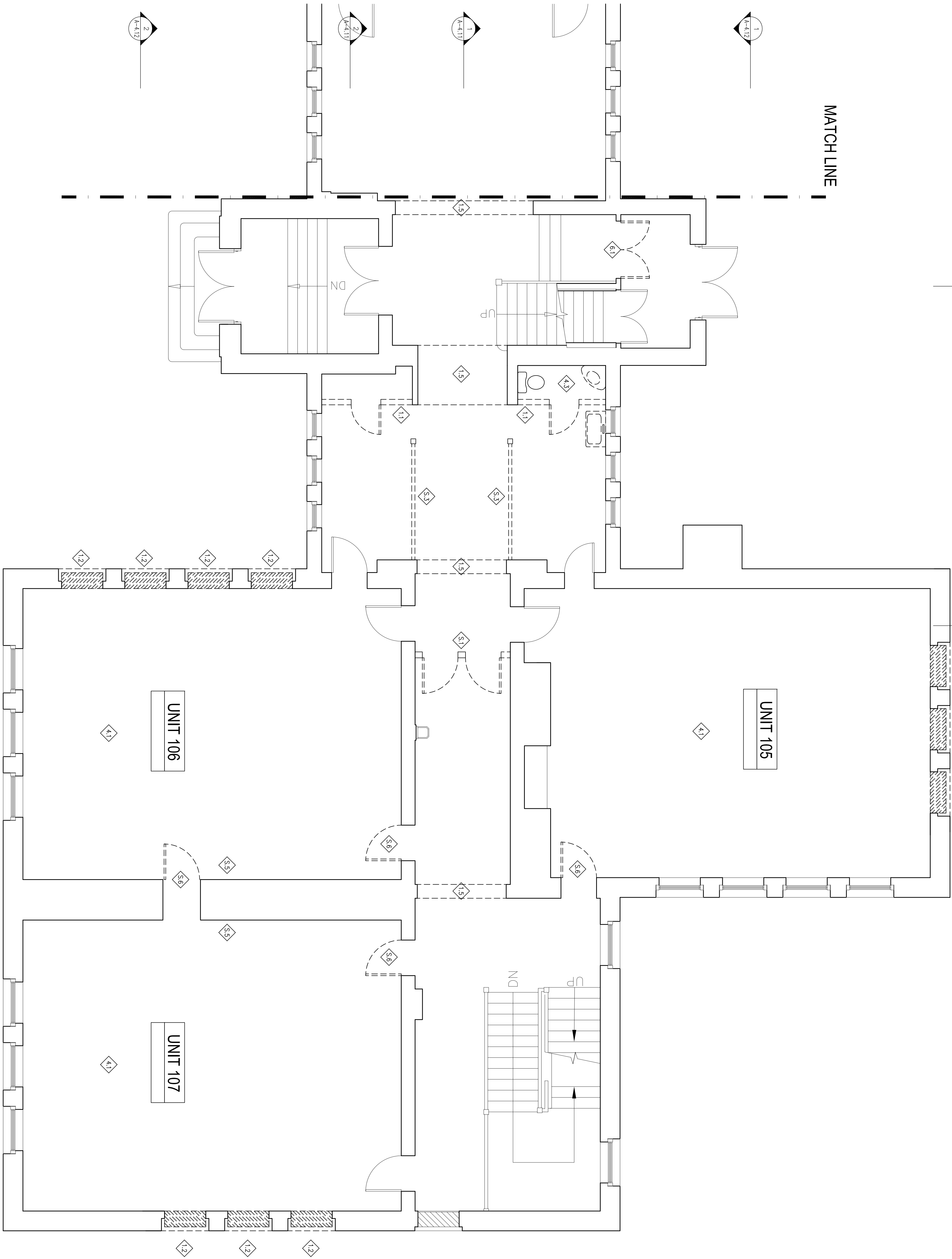
SCALE	DATE	TITLE
1/4" = 1'-0"	0707	UTIL PROJECT NUMBER

DRAWING NUMBER

A-1.11a



MATCH LINE



1. ALL EXISTING TRIM, WAINSCOTTING, CHALKBOARDS ETC. TO REMAIN IN PLACE EXCEPT IN SPECIFIC LOCATIONS NOTED ON DEMO PLANS.

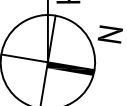
KEYNOTES

1. REMOVE WALL INCLUDING DOORS, WINDOWS, CROWN MOULDING, AND BASEBOARD.
2. REMOVE EXISTING WINDOW OR DOOR, AND SILL, A.F.F.
3. REMOVE EXISTING WINDOW OR DOOR, AND SILL, A.F.F.
4. REMOVE EXISTING STAIR.
5. REMOVE EXISTING PLUMBING FIXTURES + CAPS.
6. REMOVE EXISTING MECHANICAL PIPING AND DUCTWORK AT CEILING.
7. REMOVE EXISTING COUNTERTOP AND CABINETRY.
8. REMOVE EXISTING DOOR AND FRAME.
9. CAREFULLY REMOVE EXISTING FIRE DOORS, TRANSOMS AND FRAMES TO BE REUSED.
10. REMOVE EXISTING FLOORING WALL INCLUDING STUDS AND FINISHES. STRUCTURAL WALL BEHIND TO REMAIN.
11. CAREFULLY REMOVE PARTITION AND STORE EXISTING WAINSCOTTING AND TRIM.
12. CAREFULLY REMOVE AND STORE EXISTING LIGHT FIXTURES FOR REUSE.
13. CAREFULLY REMOVE AND STORE EXISTING BUILDING CABINET FOR REUSE.
14. CAREFULLY REMOVE AND STORE EXISTING WOOD DOOR, TRANSOM AND FRAME FOR REUSE.

FIRST FLOOR DEMOLITION PLAN / EAST

1/4" = 1'-0"

PROJECT NORTH



SCHOOL HOUSE LOFTS

DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT

LMM REALTY LLC

154 BROADWAY
SOMERVILLE, MA 02145
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OWNER

utile

ARCHITECTURE + URBAN DESIGN

50 SUMNER STREET
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CONTRACTOR

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FIRE ALARM

HAYES ENGINEERING, INC.
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WAKEFIELD, MA 01880
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hayeseng.com

CIVIL

DATE

TITLE

REVISIONS

22-FEB-08

CONSENT SET

SCALE

1/4" = 1'-0"

UTILITY PROJECT NUMBER

0707

DRAWING NUMBER

FIRST FLOOR

DEMOLITION PLAN

A-1.11b

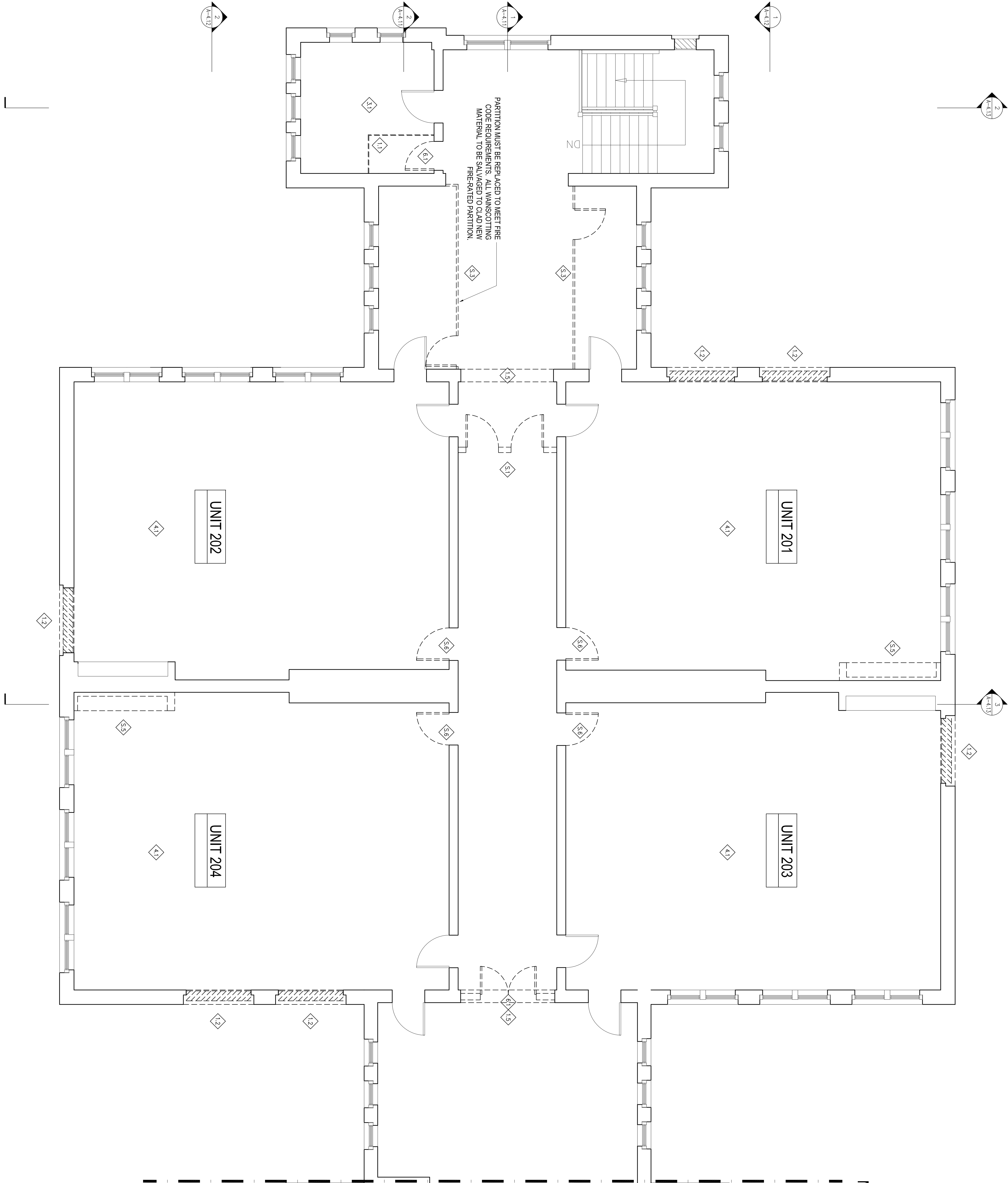
1. ALL EXISTING TRIM, WAINSCOTTING, CHALKBOARDS ETC. TO REMAIN IN PLACE EXCEPT IN SPECIFIC LOCATIONS NOTED ON DEMO PLANS.

MATCH LINE

- KEYNOTES**
- 1. REMOVE WALL INCLUDING DOORS, WINDOWS, PARTITIONS, AND OPTIONAL DIVISION OR COORDINATION.
 - 1.2. REMOVE BRICK OR PANELS IN EXISTING WINDOW OPENING.
 - 1.3. REMOVE EXISTING WINDOW OR DOOR, AND SILL AND LOWER WINDOW OPENING AS INDICATED TO 4" A.F.F.
 - 1.4. REMOVE EXISTING STAIR.
 - 1.5. DETERMINE STRUCTURAL NECESSITY OF CORRIDOR ARCHES. REMOVE ARCHES TO UNDERSE OF DOORWAY AND THE DOORS IN THESE LOCATIONS.
 - 2. ACCOMMODATE NEW OWNERS. CUT INTO EXISTING WALL TO ACCOMMODATE NEW WINDOW AND WALL CONSTRUCTION.
 - 2.1. REMOVE AND REFRAME ROOF IN THIS AREA TO ACCOMMODATE NEW SPLITLIGHTS.
 - 3. REMOVE CEILING INCLUDING CEILING COVERINGS AND STRUCTURE TO ACCOMMODATE NEW STAIR, BRACKS, AND/OR PANELS FOR APPOINTMENT CONSTRUCTION.
 - 4. REMOVE EXISTING LIGHT FIXTURES.
 - 4.1. REMOVE EXISTING PLUMBING FIXTURES + CAP.
 - 4.2. REMOVE EXISTING MECHANICAL PIPING AND DUCTWORK AT CEILING.
 - 5. REMOVE EXISTING COUNTERTOP AND CABINETS.
 - 6. REMOVE EXISTING DOOR AND FRAME.
 - 5.1. CAREFULLY REMOVE EXISTING FIRE DOORS, THRESHOLS AND FRAMES TO BE REUSED.
 - 5.2. REMOVE EXISTING PLASTER WALL INCLUDING STUDS AND FINISHES. STRUCTURAL WALL BEHIND TO REMAIN.
 - 5.3. CAREFULLY REMOVE PARTITION AND STORE EXISTING WAINSCOTTING AND TRIM.
 - 5.4. CAREFULLY REMOVE AND STORE EXISTING LIGHT FIXTURES FOR REUSE.
 - 5.5. CAREFULLY REMOVE AND STORE EXISTING BUILT-IN CABINETS FOR REUSE.
 - 5.6. CAREFULLY REMOVE AND STORE EXISTING WOOD DOOR, TRANSOM AND FRAME FOR REUSE.

1 SECOND FLOOR DEMOLITION PLAN / WEST

1/4" = 1'-0"



SCHOOL HOUSE LOFTS
DARTMOUTH STREET SCHOOL
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alliedconsulting.net

FIRE ALARM

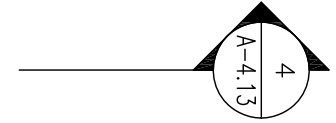
HAYES ENGINEERING, INC.
602 SALLIEN STREET
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T 781 246-2800 F 781 246-7596
hayeseng.com

CIVIL

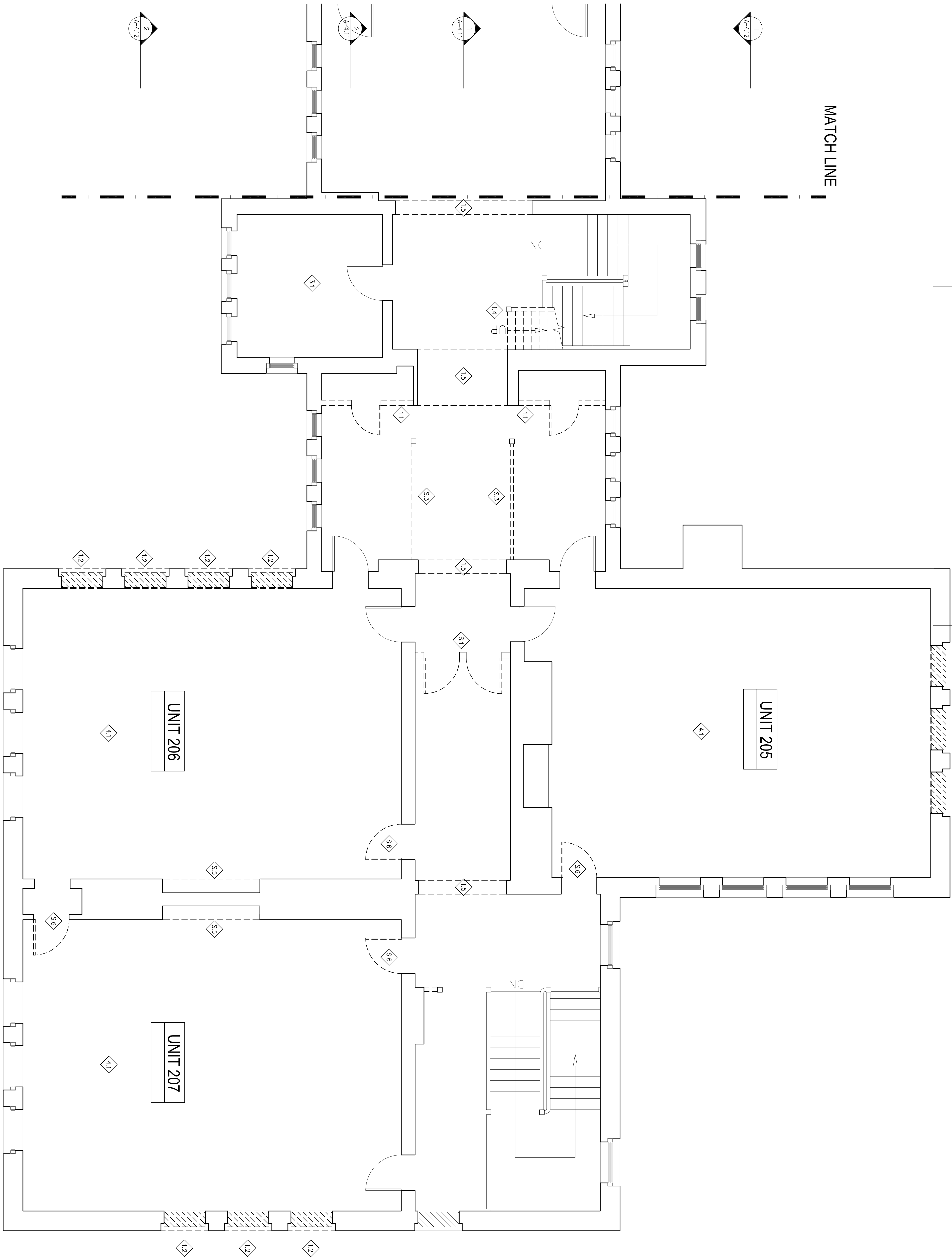
Stamp

REVISIONS	
22-FEB-08	CONPERMIT SET
DATE	TITLE
1/4" = 1'-0"	SCALE
0707	UTILE PROJECT NUMBER
	DRAWING NUMBER

A-1.12a



MATCH LINE



1. ALL EXISTING TRIM, WAINSCOTTING, CHALKBOARDS ETC. TO REMAIN IN PLACE EXCEPT IN SPECIFIC LOCATIONS NOTED ON DEMO PLANS.

KEYNOTES

1. REMOVE WALL INCLUDING DOORS, WINDOWS, TRIM, WAINSCOTTING, CHALKBOARDS, ETC. COORDINATION.
2. REMOVE BRICK OR PANELS IN EXISTING WINDOW OPENING.
3. REMOVE EXISTING WINDOW OR DOOR, AND SILL AND LOWER WINDOW OPENING IS INDICATED TO 4" A.F.F.
4. REMOVE EXISTING STAIR.
5. DETERMINE STRUCTURAL NECESSITY OF CORRIDOR / ARCHES. REMOVE ARCHES TO UNDERSE OF DOORWAY AND THE DOORS IN THESE LOCATIONS. REMOVE EXISTING STAIRS IN THESE LOCATIONS.
6. ACCOMMODATE NEW OPENINGS. CUT INTO EXISTING WALL TO ACCOMMODATE NEW WINDOW AND WALL CONSTRUCTION.
7. REMOVE AND REFRAME ROOF IN THIS AREA TO ACCOMMODATE NEW SPLITLIGHTS.
8. REMOVE CEILING INCLUDING CEILING COVERINGS AND STRUCTURE TO ACCOMMODATE NEW STAIR, BRACING.
9. REMOVE EXISTING LIGHT FIXTURES.
10. REMOVE EXISTING PLUMBING FIXTURES + CAP.
11. REMOVE EXISTING MECHANICAL PIPING AND DUCTWORK AT CEILING.
12. REMOVE EXISTING COUNTERTOP AND CABINETS
13. REMOVE EXISTING DOOR AND FRAME.
14. CAREFULLY REMOVE EXISTING FIRE DOORS, THRESHOLDS AND FRAMES TO BE REUSED.
15. REMOVE EXISTING PLASTER WALL INCLUDING STUDS AND FINISHES. STRUCTURAL WALL BEHIND TO REMAIN.
16. CAREFULLY REMOVE PARTITION AND STORE EXISTING WAINSCOTTING AND TRIM.
17. CAREFULLY REMOVE AND STORE EXISTING LIGHT FIXTURES FOR REUSE.
18. CAREFULLY REMOVE AND STORE EXISTING BUILT-IN CABINET FOR REUSE.
19. CAREFULLY REMOVE AND STORE EXISTING WOOD DOOR, TRANSOM AND FRAME FOR REUSE.

SCHOOL HOUSE LOFTS

DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT

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FIRE ALARM

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hayeseng.com

CIVIL

22-FEB-08 CD PERMIT SET

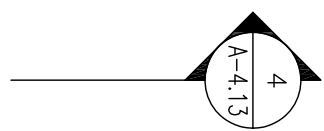
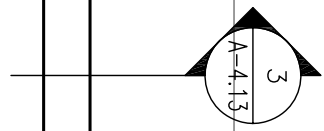
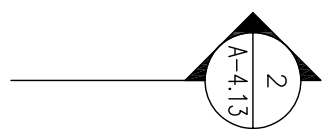
REVISIONS

SHEET NO. DATE TITLE

SECOND FLOOR DEMOLITION PLAN

SCALE 1/4" = 1'-0"
UTILE PROJECT NUMBER 0707
DRAWING NUMBER

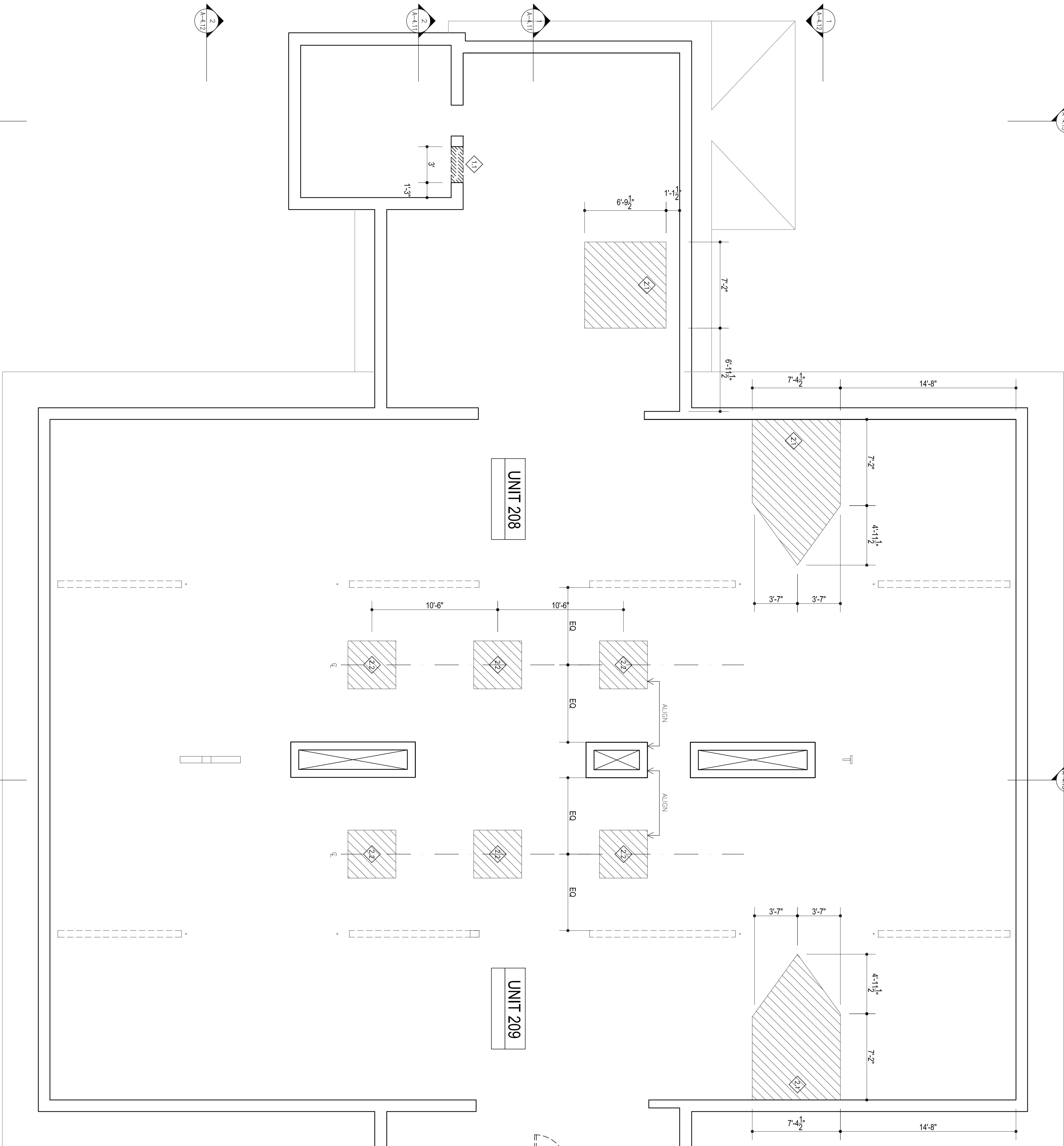
A-1.12b



1. ALL EXISTING TRIM, WAINSCOTTING, CHALKBOARDS ETC. TO REMAIN IN PLACE, EXCEPT IN SPECIFIC LOCATIONS NOTED ON DEMO PLANS.

2. ALL DIMENSIONS ON THIRD FLOOR PLANS ARE TO BE MEASURED ALONG THE FLOOR AND PROJECTED TO THE ROOF.

MATCH LINE



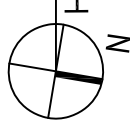
KEYNOTES

1. REMOVE WALL INCLUDING DOORS, WINDOWS, AND TRIM. DEMO TO EXPOSE STRUCTURAL ELEMENTS FOR REPAIR OR RECONSTRUCTION.
2. REMOVE BRICK OR PANELS IN EXISTING WINDOW OPENING.
3. REMOVE EXISTING WINDOW OR DOOR, AND RAIL AND LOWER WINDOW OPENING IS INDICATED TO 4'-0" A.F.F.
4. REMOVE EXISTING STAIR.
5. DETERMINE STRUCTURAL NECESSITY OF CORRIDOR ARCHES. REMOVE ARCHES TO UNDERSE OF DOORWAY AND PREPARE FOR REPAIR OR RECONSTRUCTION.
6. ACCOMMODATE NEW OPENINGS. CUT INTO EXISTING WALL TO ACCOMMODATE NEW WINDOW AND WALL CONSTRUCTION.
7. REMOVE AND REFRAME ROOF IN THIS AREA TO ACCOMMODATE NEW SKYLIGHTS.
8. REMOVE CEILING INCLUDING CEILING COVERINGS AND STRUCTURE TO ACCOMMODATE NEW STAIR, BRACING, AND MECHANICAL SYSTEMS FOR FUTURE CONSTRUCTION.
9. REMOVE EXISTING LIGHT FIXTURES.
10. REMOVE EXISTING PLUMBING FIXTURES + CAP.
11. REMOVE EXISTING MECHANICAL PIPING AND DUCTWORK AT CEILING.
12. REMOVE EXISTING COUNTERTOP AND CABINETS.
13. REMOVE EXISTING DOOR AND FRAME.
14. CAREFULLY REMOVE EXISTING FIRE DOORS, THRESHOLDS AND FRAMES TO BE REUSED.
15. REMOVE EXISTING FLOORING WALL INCLUDING STOPS AND FINISHES. STRUCTURAL WALL BEHIND TO REMAIN.
16. CAREFULLY REMOVE PARTITION AND STORE EXISTING WAINSCOTTING AND TRIM.
17. CAREFULLY REMOVE AND STORE EXISTING LIGHT FIXTURES FOR REUSE.
18. CAREFULLY REMOVE AND STORE EXISTING BUILT-IN CABINETS FOR REUSE.
19. CAREFULLY REMOVE AND STORE EXISTING WOOD DOOR, TRANSOM AND FRAME FOR REUSE.

THIRD FLOOR DEMOLITION PLAN / WEST

1/4" = 1'-0"

PROJECT NORTH



SCHOOL HOUSE LOFTS
DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT
LMM REALTY LLC
154 BROADWAY
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utilidesign.com
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FIRE ALARM

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hayeseng.com
CIVIL

DATE
TITLE
REVISIONS
22-FEB-08
CDPERMIT SET

THIRD FLOOR
DEMOLITION PLAN
SCALE
1/4" = 1'-0"
UTILE PROJECT NUMBER
0707
DRAWING NUMBER

A-1.13a

SCHOOL
HOUSE LOFTS
DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT

LMM REALTY LLC
154 BROADWAY
SOMERVILLE, MA 02145
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OWNER

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50 SUMNER STREET
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utiledesign.com

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alliedconsulting.net

FIRE ALARM

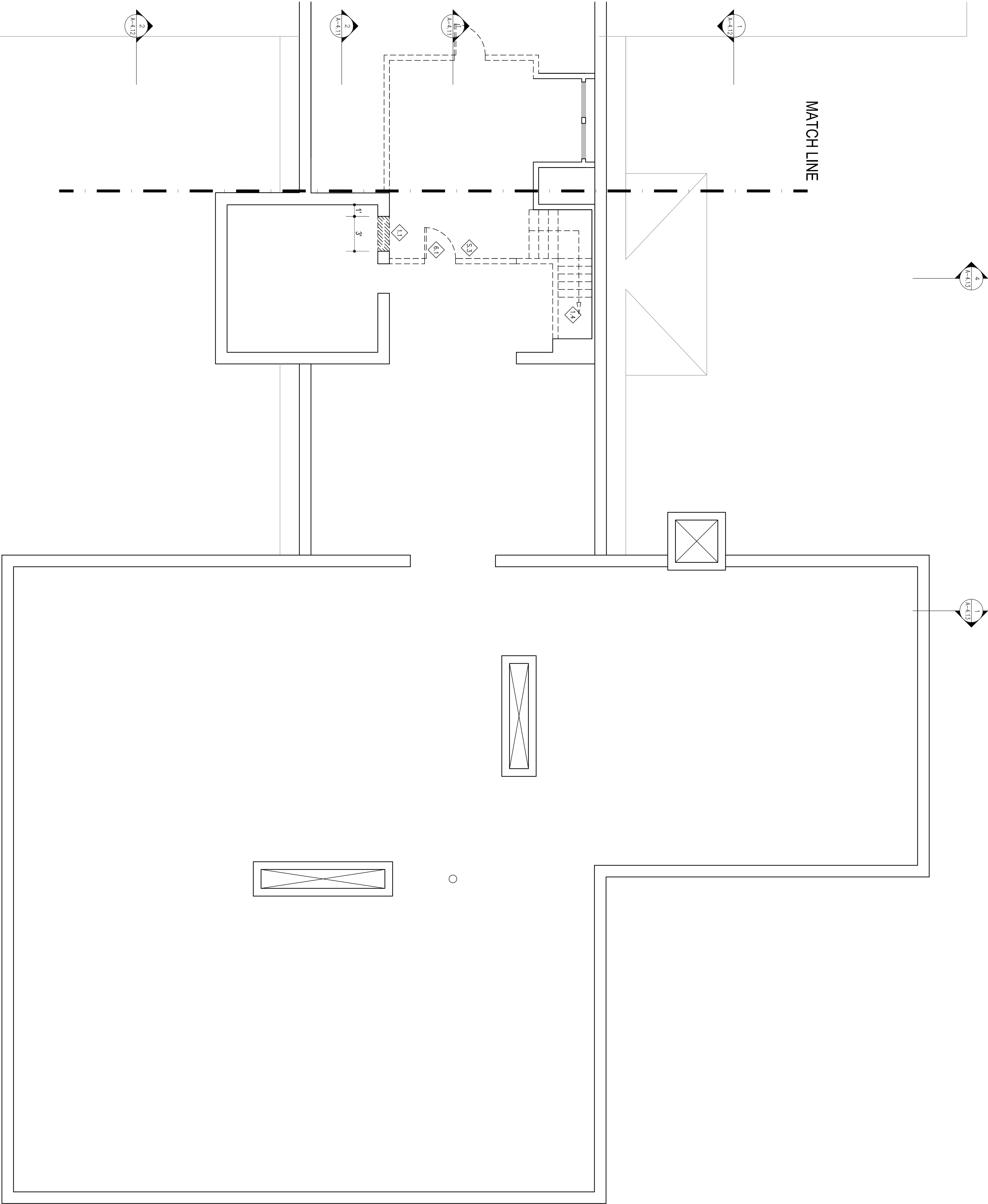
HAYES ENGINEERING, INC.
602 SALEM STREET
WAKEFIELD, MA 01880
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hayeseng.com

CIVIL

KEYNOTES

1. REMOVE WALL INCLUDING DOORS, WINDOWS, BRICK, AND OPTIONAL DIVISOR OR COORDINATION.
- 1.2. REMOVE BRICK OR PANELS IN EXISTING WINDOW OPENING.
- 1.3. REMOVE EXISTING WINDOW OR DOOR, AND SILL AND LOWER WINDOW OPENING AS INDICATED TO 4" A.F.F.
- 1.4. REMOVE EXISTING STAIR.
- 1.5. DETERMINE STRUCTURAL NECESSITY OF CORRIDOR / ARCHES. REMOVE ARCHES TO UNDERSE OF DOORWAY AND PRE DOORS IN THESE LOCATIONS.
2. ACCOMMODATE NEW OWNERS. CUT INTO EXISTING WALL TO ACCOMMODATE NEW WINDOW AND WALL CONSTRUCTION.
- 2.2. REMOVE AND REFRAME ROOF IN THIS AREA TO ACCOMMODATE NEW SPLITLIGHTS.
3. REMOVE CEILING INCLUDING CEILING COVERINGS AND STRUCTURE TO ACCOMMODATE NEW STAIR, BRICKS, AND OPTIONAL DIVISORS FOR APARTMENT BAY.
4. REMOVE EXISTING LIGHT FIXTURES.
- 4.3. REMOVE EXISTING PLUMBING FIXTURES + CAP.
- 4.4. REMOVE EXISTING MECHANICAL PIPING AND DUCTWORK AT CEILING.
5. REMOVE EXISTING COUNTERTOP AND CABINETRY.
6. REMOVE EXISTING DOOR AND FRAME.
- 5.1. CAREFULLY REMOVE EXISTING FIRE DOORS, THRESHOLDS AND FRAMES TO BE REUSED.
- 5.2. REMOVE EXISTING FLOORING WALL INCLUDING STOPS AND FINISHES. STRUCTURAL WALL BEHIND TO REMAIN.
- 5.3. CAREFULLY REMOVE PARTITION AND STORE EXISTING WANSKOTTING AND TRAIL.
- 5.4. CAREFULLY REMOVE AND STORE EXISTING LIGHT FIXTURES FOR REUSE.
- 5.5. CAREFULLY REMOVE AND STORE EXISTING BUILT-IN CABINET FOR REUSE.
- 5.6. CAREFULLY REMOVE AND STORE EXISTING WOOD DOOR, TRANSOM AND FRAME FOR REUSE.

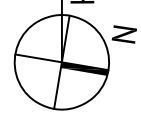
1. ALL EXISTING TRIM, WANSKOTTING, CHALKBOARDS ETC. TO REMAIN IN PLACE, EXCEPT IN SPECIFIC LOCATIONS NOTED ON DEMO PLANS.
2. ALL DIMENSIONS ON THIRD FLOOR PLANS ARE TO BE MEASURED ALONG THE FLOOR AND PROJECTED TO THE ROOF.



1 THIRD FLOOR DEMOLITION PLAN / EAST

1/4"=1'-0"

PROJECT NORTH



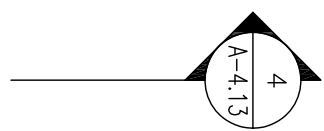
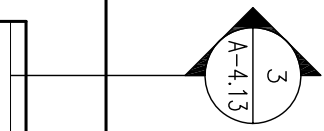
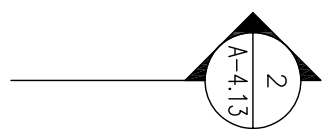
Stamp

REVISIONS	
22-FEB-08	CDD/PERMIT SET

DATE	SHEETNAME
DATE	TITLE

THIRD FLOOR DEMOLITION PLAN	
SCALE	UTILITY PROJECT NUMBER
1/4" = 1'-0"	0707
DRAWING NUMBER	

A-1.13b



**SCHOOL
HOUSE LOFTS**
DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT

LMM REALTY LLC
154 BROADWAY
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CIVIL

STAMP

REVISIONS

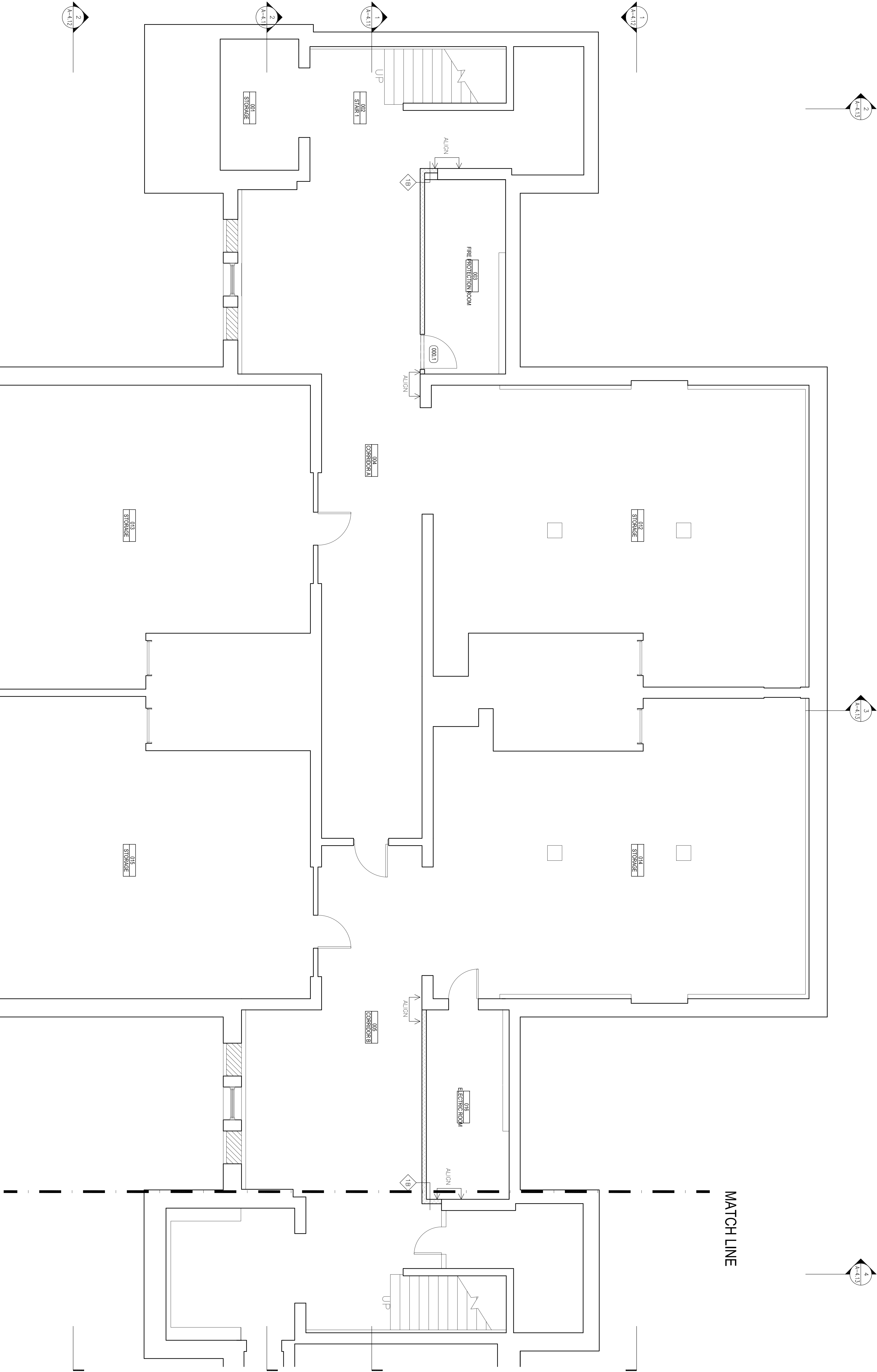
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SHEET NO. DATE

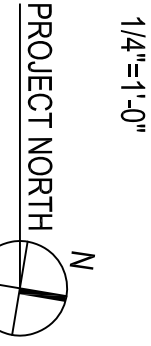
BASEMENT
PLAN

SCALE 1/4" = 1'-0"
TITLE PROJECT NUMBER
DRAWING NUMBER

A-2.10a



BASEMENT PLAN / WEST



**SCHOOL
HOUSE LOFTS**
DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

LMM REALTY LLC
154 BROADWAY
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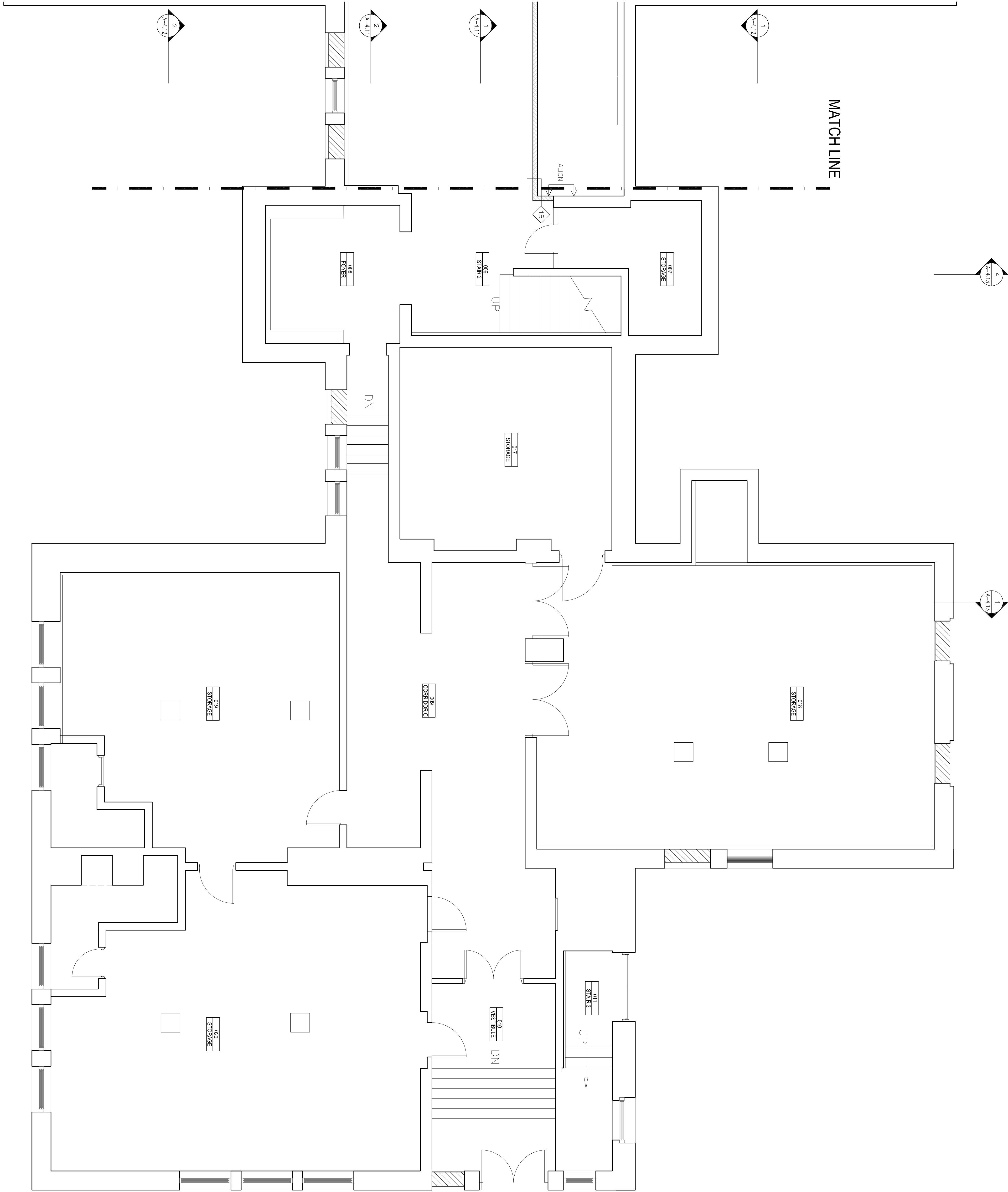
REVISIONS	
22-FEB-08	CD/PERMIT SET

SHEET NO.	DATE
TITLE	

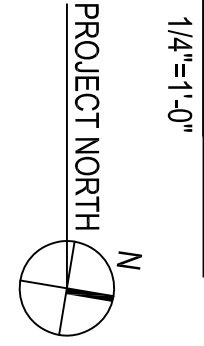
**BASEMENT
PLAN**

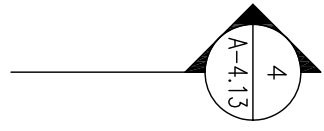
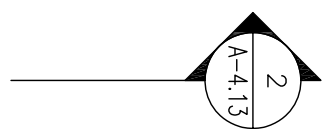
SCALE	UTILITY PROJECT NUMBER
1/4" = 1'-0"	0707
	DRAWING NUMBER

A-2.10b



BASEMENT PLAN / EAST





**SCHOOL
HOUSE LOFTS**
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STRUCTURAL

ALLIED CONSULTING
215 BOSTON POST ROAD
SILVERBURY, MA 01778
T 978 443-7888 F 978 443-4636
alliedconsulting.net

FIRE ALARM

HAYES ENGINEERING, INC.
602 SALEM STREET
WAKEFIELD, MA 01880
T 781 246-2800 F 781 246-7596
hayeseng.com

CIVIL

Stamp

REVISIONS

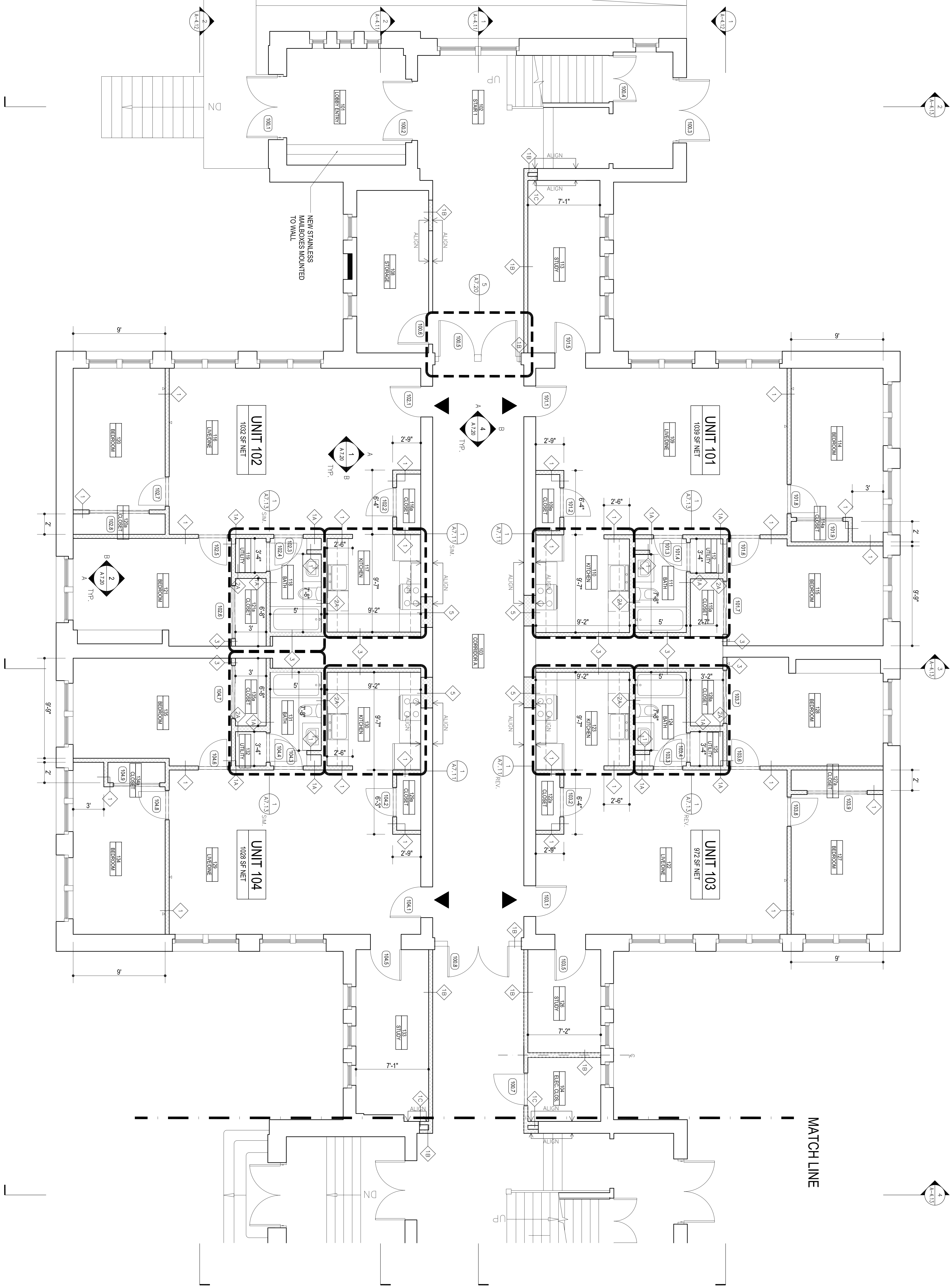
22-FEB-08 CD/PERMIT SET

SHEET NO. DATE TITLE

FIRST FLOOR
PLAN

SCALE: 1/4" = 1'-0"
0707
DRAWING NUMBER

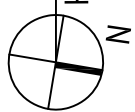
A-2.11a



FIRST FLOOR PLAN / WEST

1/4" = 1'-0"

PROJECT NORTH



**SCHOOL
HOUSE LOFTS**
DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

LMM REALTY LLC
154 BROADWAY
SOMERVILLE, MA 02145
T 617 628-8900 F 617 625-0091

utile
ARCHITECTURE + URBAN DESIGN
50 SUMNER STREET
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P 617 423-7200 F 617 423-1414
utile@design.com

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104 BROADWAY
SOMERVILLE, MA 02145
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cmd@cmdnyc.com

RICHMOND SO ENGINEERS
85 MAIN STREET
WATERTOWN, MA 02472
T 617 926-9300 F 617 926-9301
richmondso.com

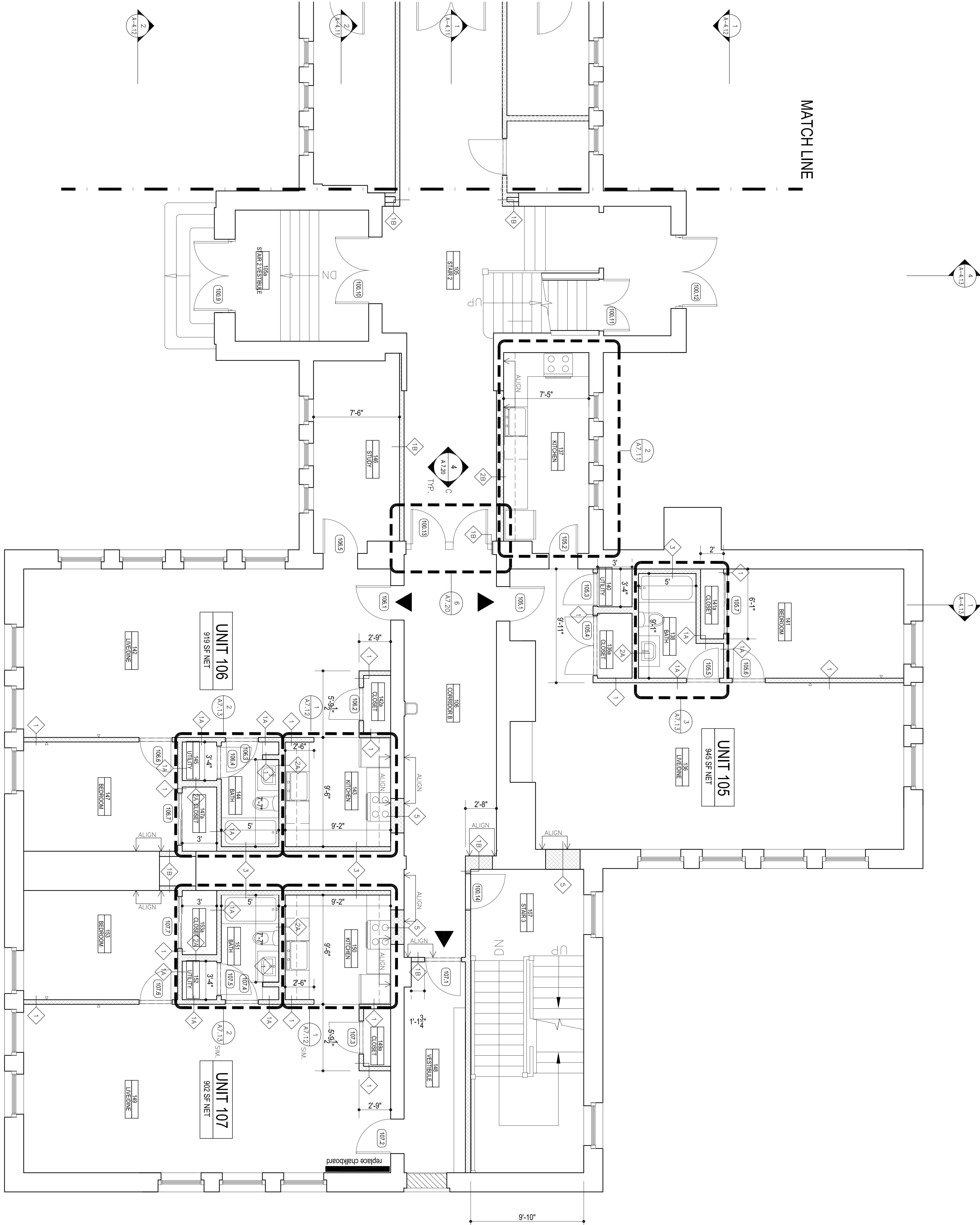
ALLIED CONSULTING
215 BOSTON POST ROAD
SILVERBURY, MA 01778
T 978 443-7888 F 978 443-4636
alliedconsulting.net

HAYES ENGINEERING, INC.
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hayeseng.com

REVISIONS
22-FEB-08 CD/PERMIT SET
DATE
TITLE

**FIRST FLOOR
PLAN**
SCALE
1/4" = 1'-0"
0707
DRAWING NUMBER

A-2.11b



FIRST FLOOR PLAN / EAST



SCHOOL
HOUSE LOFTS
DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT

LMM REALTY LLC
154 BROADWAY
SOMERVILLE, MA 02145
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OWNER

utile

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SOMERVILLE, MA 02145
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cmdoston.com

CONTRACTOR

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FIRE ALARM

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hayeseng.com

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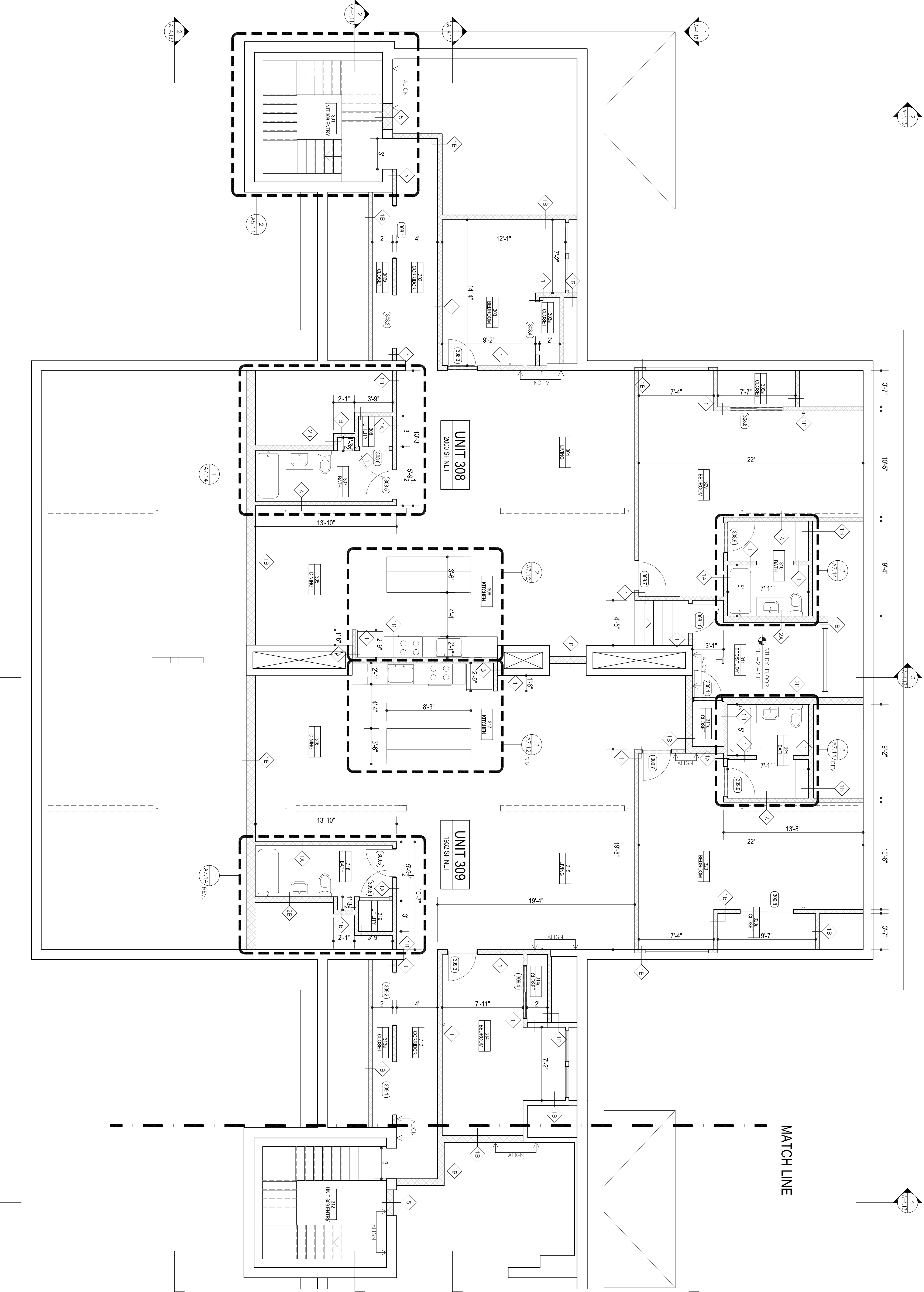
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REVISIONS	

SHEET NO.	DATE
TITLE	

THIRD FLOOR
PLAN

SCALE	UTILITY PROJECT NUMBER
1/4" = 1'-0"	0707
	DRAWING NUMBER

A-2.13a



THIRD FLOOR PLAN / WEST

1/4" = 1'-0"

PROJECT NORTH



13 DARTMOUTH STREET
WORCESTER, MA 02210

OWNER

utiledesign.com

CONTRACTOR
cmdboston.com

richmondso.com

alliedconsulting.net

hayeseng.com

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DATE	TIME	TITLE
01/10/2010	10:00	...

PLAN

DRAWING NUMBER

A-2.14a

13 DARTMOUTH STREET
WORCESTER, MA 02210

OWNER

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richmondso.com

alliedconsulting.net

hayeseng.com

STAMP

REVISIONS	
22-FEB-08	CD/PERMIT SET

CD/PERMIT SET

SETNAME	DATE
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ROOF
PLAN

SCALE	UTILE PROJECT NUMBER
1/4" = 1'-0"	0707
DRAWING NUMBER	

DRAWING NUMBER

DRAWING NUMBER

A-2.14b

SCHOOL
HOUSE LOFTS
DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT
LMM REALTY LLC
154 BROADWAY
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cmdoston.com

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WAKFIELD, MA 01880
T 781 246.2800 F 781 246.7566
hayeseng.com

CIVIL

STAMP	
REVISIONS	
22-FEB-08	CDF/PERMIT SET

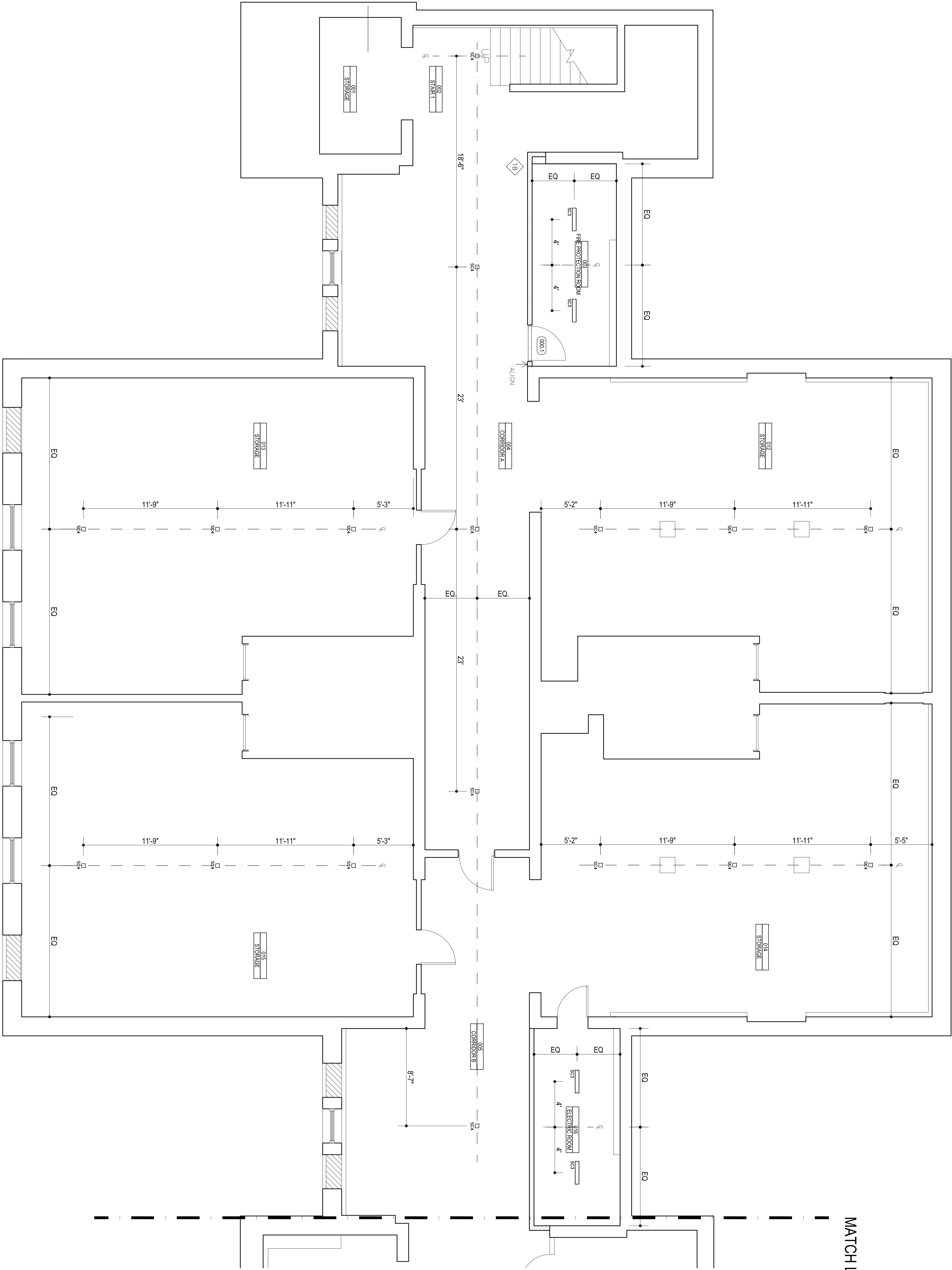
SHEETNAME	DATE
TITLE	

BASEMENT REFLECTED
CEILING PLAN

SCALE	UTILITY PROJECT NUMBER
1/4" = 1'-0"	0707
DRAWING NUMBER	

A-2.20a

MATCH LINE



RCP LEGEND

- RECESSED CEILING LIGHT
- RECESSED CEILING LIGHT (LOW VOLT)
- RECESSED WET CEILING LIGHT
- RECESSED CEILING LIGHT DIRECTIONAL
- RECESSED CEILING EXTRACTOR FAN
- RECESSED SLOPED CEILING LIGHT
- WALL MOUNTED BATH LIGHT
- WALL MOUNTED STAIRWELL LIGHT
- J-BOX WITH BLANK PLATE
- CEILING MOUNTED LIGHT (UNIT)
- CEILING MOUNTED PENDANT (COMMON SPACE)
- CEILING MOUNTED FLUORESCENT STRIP
- PORCELAIN SCREW POST
- EXTERIOR EGRESS LIGHT
- UNIT STAIR SCENCE
- UNDER-CABINET MOUNTED LIGHT
- CABLE JACK

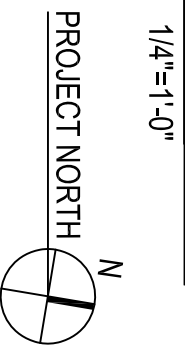
NOTES ON CEILING HEIGHTS:

ALL CEILINGS EXISTING UNLESS SHADED.
REFER TO FINISH SCHEDULE FOR CEILING TYPES.

GENERAL NOTES:

- DESIGN / BUILD SUBCONTRACTORS ARE RESPONSIBLE FOR CORRECT NUMBER AND SIZING OF FIXTURES.
- ALIGN SPRINKLER HEADS WITH LIGHT FIXTURES WHERE POSSIBLE.
- SINGLE CEILING MOUNTED LIGHTS TO BE CENTERED IN ROOM.

BASEMENT RCP / WEST



SCHOOL
HOUSE LOFTS
DARTMOUTH STREET SCHOOL

13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT

LMM REALTY LLC

154 BROADWAY
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OWNER

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BOSTON, MA 02110
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utile.design.com

ARCHITECT

NOTES ON CEILING HEIGHTS:
ALL CEILINGS EXISTING UNLESS SHADED.
TYPICAL CEILING HEIGHT AT FIRST FLOOR TO CEILING: 12'-0"
TYPICAL CEILING HEIGHT AT FIRST FLOOR TO FLOOR ABOVE: 13'-7"

INDICATES CEILINGS DROPPED TO 10'-0" A.F.F.

INDICATES CEILINGS DROPPED TO 8'-0" A.F.F.

CORRIDOR SOFFIT DIMENSIONS TO BE SYMMETRICAL ABOUT CENTER OF CORRIDOR, AND MINIMIZED. 30" WIDTH MAXIMUM ALLOWED PER MA BUILDING CODE.

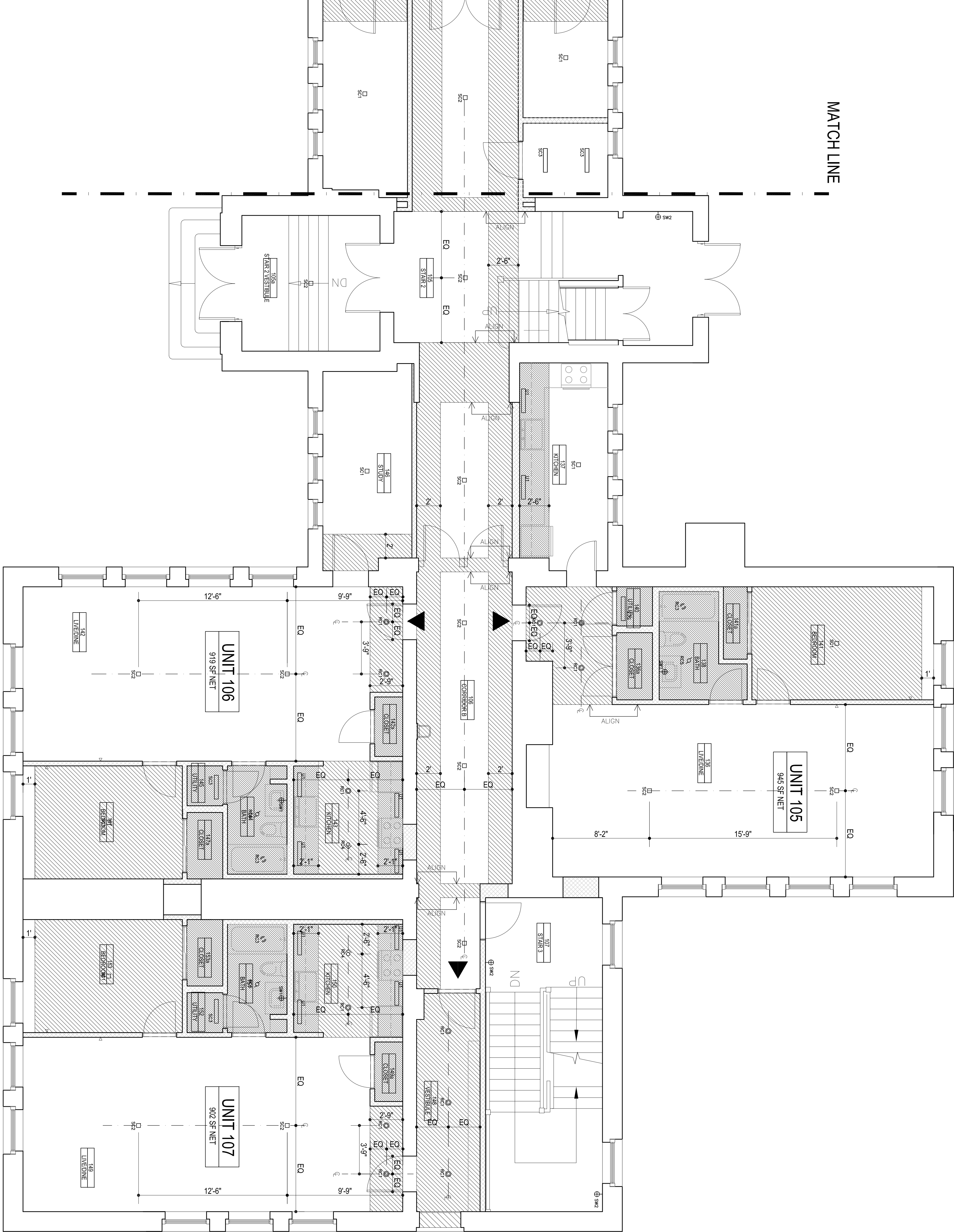
REFER TO FINISH SCHEDULE FOR CEILING TYPES.

GENERAL NOTES:

- 1) 30" X 30" (MIN.) ACCESS DOOR TO BE PROVIDED INTO EACH MECHANICAL CAVITY (TYP. ABOVE BATHROOM ZONE). EXACT LOCATION TO BE DETERMINED IN FIELD.
- 2) DESIGN / BUILD SUBCONTRACTORS ARE RESPONSIBLE FOR CORRECT NUMBER AND SIZING OF FIXTURES.
- 3) ALIGN SPRINKLER HEADS WITH LIGHT FIXTURES WHERE POSSIBLE.
- 4) SINGLE CEILING MOUNTED LIGHTS TO BE CENTERED IN ROOM.
- 5) SEE STRUCTURAL DRAWINGS FOR SIZING OF SOFFITS SUPPORTING WATER HEATERS AND FURNACES.

RCP LEGEND

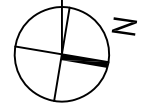
- RECESSED CEILING LIGHT
- RECESSED CEILING LIGHT (LOW VOLT.)
- RECESSED WET CEILING LIGHT
- RECESSED CEILING LIGHT DIRECTIONAL
- RECESSED CEILING EXTRACTOR FAN
- RECESSED SLOPED CEILING LIGHT
- WALL MOUNTED BATH LIGHT
- WALL MOUNTED STARWELL LIGHT
- J-BOX WITH BLANK PLATE
- CEILING MOUNTED LIGHT (UNIT)
- CEILING MOUNTED PENDANT (COMMON SPACE)
- CEILING MOUNTED FLUORESCENT STRIP
- PORCELAIN SCREW POST
- EXTERIOR EGRESS LIGHT
- UNIT STAIR SCONCE
- UNDER-CABINET MOUNTED LIGHT
- CABLE JACK



FIRST FLOOR RCP / EAST

1/4" = 1'-0"

PROJECT NORTH



CMD, LLC 104 BROADWAY SOMERVILLE, MA 02145 T 617 623-8900 F 617 623-0091 cmdconsult.com	CONTRACTOR RICHMOND SO ENGINEERS 85 MAIN STREET WATERTOWN, MA 02472 T 617 926-3900 F 617 926-3901 richmondso.com	STRUCTURAL ALLIED CONSULTING 215 BOSTON POST ROAD SILVERBAY, MA 01778 T 978 443-7288 F 978 443-4636 alliedconsulting.net	FIRE ALARM HAYES ENGINEERING, INC. 602 SALEM STREET WAKEFIELD, MA 01880 T 781 246-2800 F 781 246-7566 hayeseng.com	CIVIL
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STAMP	REVISIONS
22-FEB-08	CD PERMIT SET
DATE	TITLE
FIRST FLOOR REFLECTED CEILING PLAN	
SCALE 1/4" = 1'-0"	UTILITY PROJECT NUMBER 0707
DRAWING NUMBER	
A-2.21b	

SCHOOL
HOUSE LOFTS
DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT

LMM REALTY LLC
154 BROADWAY
SOMERVILLE, MA 02145
T 617 828-4900 F 617 623-0091

OWNER

utile

ARCHITECTURE + URBAN DESIGN
50 SUMNER STREET
BOSTON, MA 02110
P 617 423-7200 F 617 423-1414
utile@utile-sign.com

ARCHITECT

NOTES ON CEILING HEIGHTS:
ALL CEILINGS EXISTING UNLESS SHADED.
TYPICAL CEILING HEIGHT AT FIRST FLOOR TO CEILING: 12'-0"
TYPICAL CEILING HEIGHT AT FIRST FLOOR TO FLOOR ABOVE: 13'-7"

INDICATES CEILINGS DROPPED TO 10'-0" A.F.F.
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CORRIDOR SOFFIT DIMENSIONS TO BE SYMMETRICAL ABOUT CENTER OF CORRIDOR, AND MINIMIZED. 30" WIDTH MAXIMUM ALLOWED PER IMA BUILDING CODE.

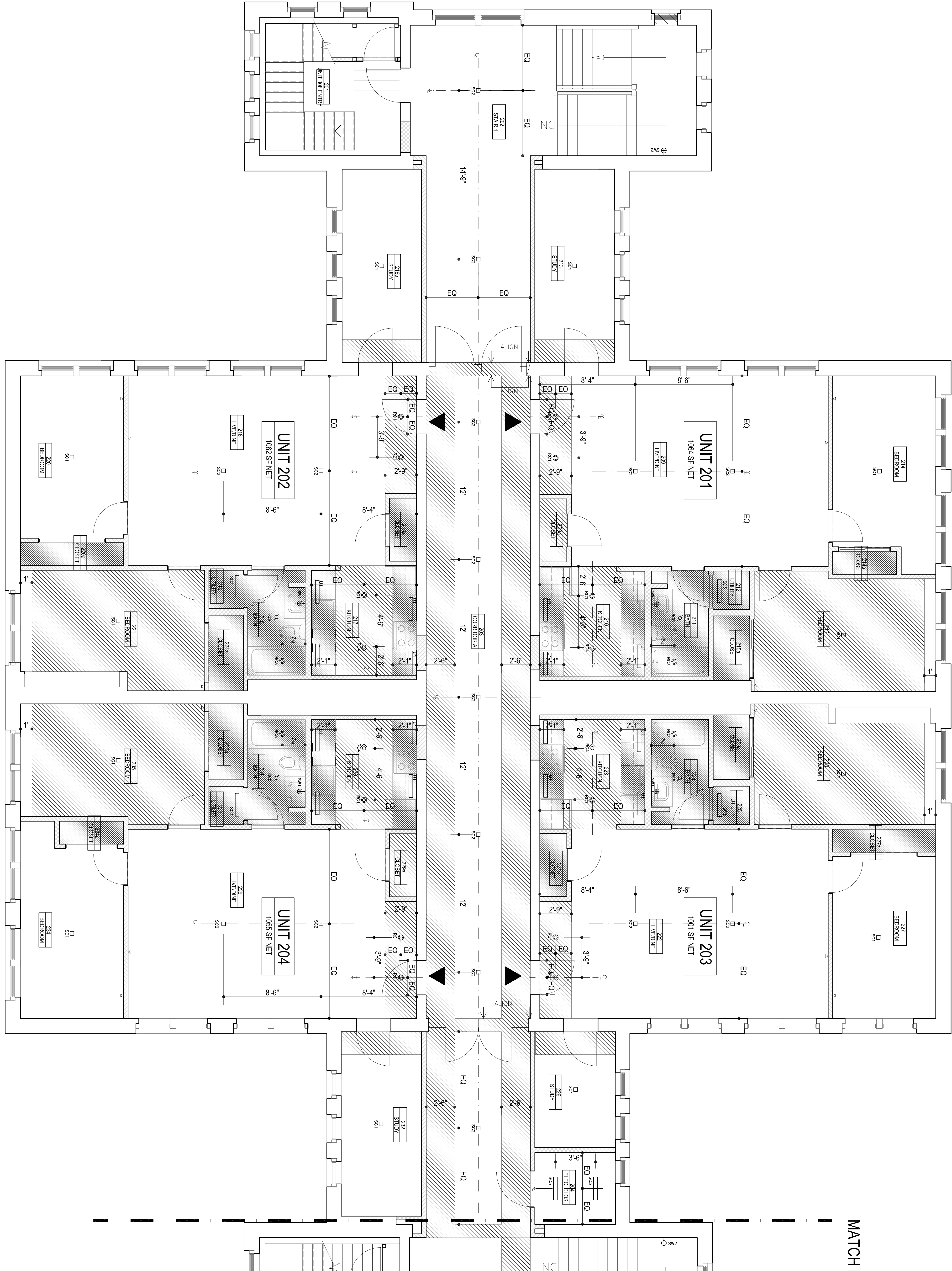
REFER TO FINISH SCHEDULE FOR CEILING TYPES.

GENERAL NOTES:

- 1) 30" X 30" (MIN.) ACCESS DOOR TO BE PROVIDED INTO EACH MECHANICAL CAVITY (TYP. ABOVE BATHROOM ZONE). EXACT LOCATION TO BE DETERMINED IN FIELD.
- 2) DESIGN / BUILD SUBCONTRACTORS ARE RESPONSIBLE FOR CORRECT NUMBER AND SIZING OF FIXTURES.
- 3) ALIGN SPRINKLER HEADS WITH LIGHT FIXTURES WHERE POSSIBLE.
- 4) SINGLE SPRINKLER MOUNTED LIGHTS TO BE CENTERED IN ROOM.
- 5) SEE STRUCTURAL DRAWINGS FOR SIZING OF SOFFITS SUPPORTING WATER HEATERS AND FURNACES.

RCP LEGEND

- RECESSED CEILING LIGHT (LOW VOLT.)
- RECESSED WET CEILING LIGHT
- RECESSED CEILING LIGHT DIRECTIONAL
- RECESSED CEILING EXTRACTOR FAN
- RECESSED SLOPED CEILING LIGHT
- WALL MOUNTED BATH LIGHT
- WALL MOUNTED STAIRWELL LIGHT
- J-BOX WITH BLANK PLATE
- CEILING MOUNTED LIGHT (UNIT)
- CEILING MOUNTED PENDANT (COMMON SPACE)
- CEILING MOUNTED FLUORESCENT STRIP
- PORCELAIN SCREW POST
- EXTERIOR EGRESS LIGHT
- UNIT STAIR SCOFF
- UNDER-CABINET MOUNTED LIGHT
- CABLE JACK



1 SECOND FLOOR RCP / WEST
1/4" = 1'-0"



SCALE
1/4" = 1'-0"

UTILE PROJECT NUMBER
0707

DRAWING NUMBER

SECOND FLOOR
REFLECTED CEILING PLAN

SET NAME
TITLE

22-FEB-08
CDPERMIT SET

REVISIONS

STAMP

FIRE ALARM

HAYES ENGINEERING, INC.
602 SALEM STREET
WAKEFIELD, MA 01880
T 781 246-2800 F 781 246-7566
hayeseng.com

Civil

ALLIED CONSULTING
215 BOSTON POST ROAD
SILVERBURY, MA 01778
T 978 443-7288 F 978 443-4636
alliedconsulting.net

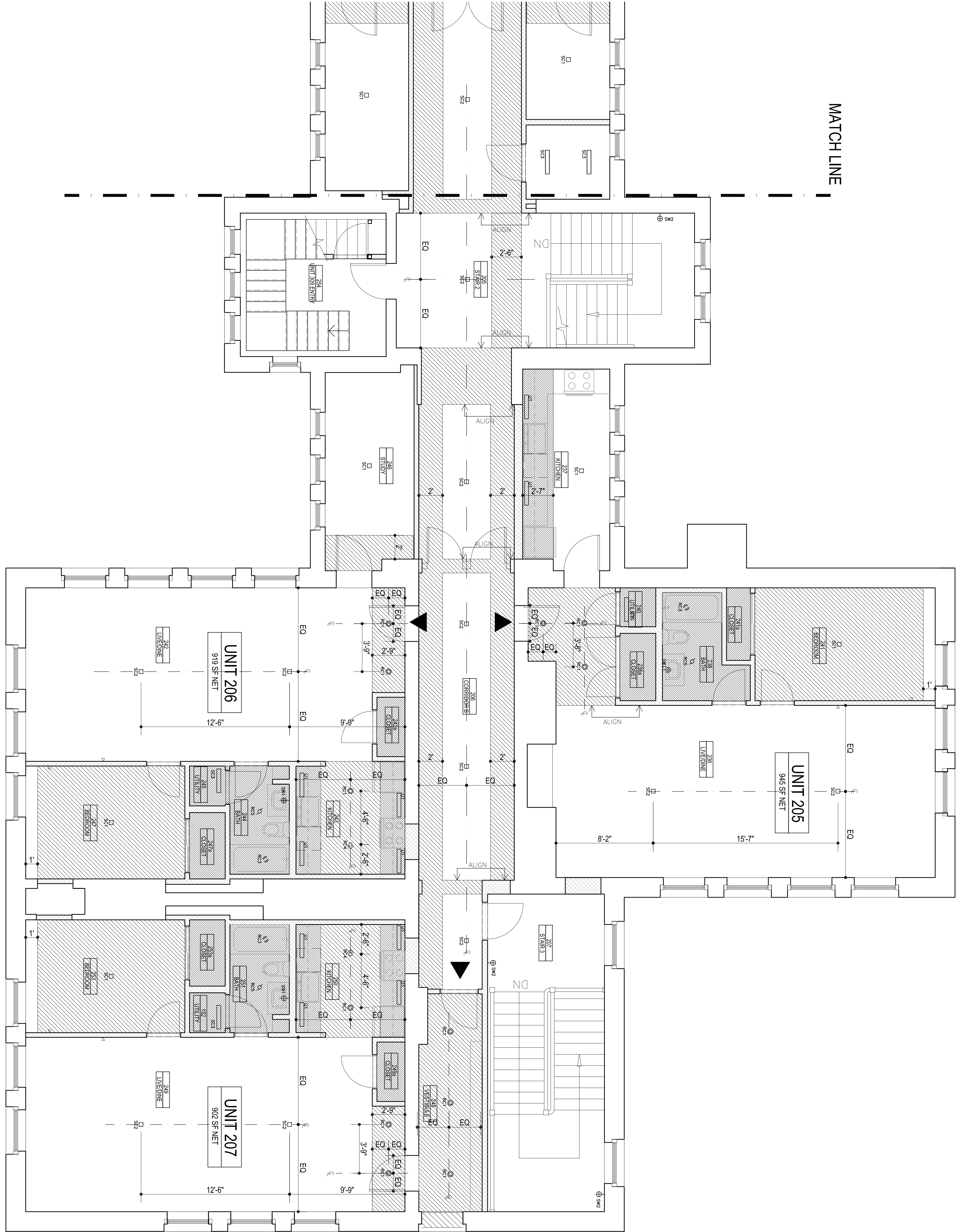
STRUCTURAL

RICHMOND SO ENGINEERS
85 MAIN STREET
WATERTOWN, MA 02472
T 617 926-9300 F 617 926-9301
richmondso.com

CONTRACTOR

CMD, LLC
104 BROADWAY
SOMERVILLE, MA 02145
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cmdusa.com

A-2.22a



1 SECOND FLOOR RCP / EAST
1/4" = 1'-0"



- RCP LEGEND**
- RECESSED CEILING LIGHT
 - RECESSED CEILING LIGHT (LOW VOLT.)
 - RECESSED WET CEILING LIGHT
 - RECESSED CEILING LIGHT DIRECTIONAL
 - RECESSED CEILING EXTRACTOR FAN
 - RECESSED SLOPED CEILING LIGHT
 - WALL MOUNTED BATH LIGHT
 - WALL MOUNTED STAIRWELL LIGHT
 - J-BOX WITH BLANK PLATE
 - CEILING MOUNTED LIGHT (UNIT)
 - CEILING MOUNTED PENDANT (COMMON SPACE)
 - CEILING MOUNTED FLUORESCENT STRIP
 - PORCELAIN SCREW POST
 - EXTERIOR EGRESS LIGHT
 - UNIT STAIR SCOSCE
 - UNDER-CABINET MOUNTED LIGHT
 - CABLE JACK

NOTES:
SEE WINDOW SCHEDULE A&J.2
FOR NEW + UPGRADED WINDOWS

**SCHOOL
HOUSE LOFTS**
DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT

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OWNER

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ARCHITECT

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cmdusa.com

CONTRACTOR

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alliedconsulting.net

FIRE ALARM

HAYES ENGINEERING, INC.
602 SALEM STREET
WAKEFIELD, MA 01880
T 781 246.2800 F 781 246.7596
hayeseng.com

CIVIL

REVISIONS

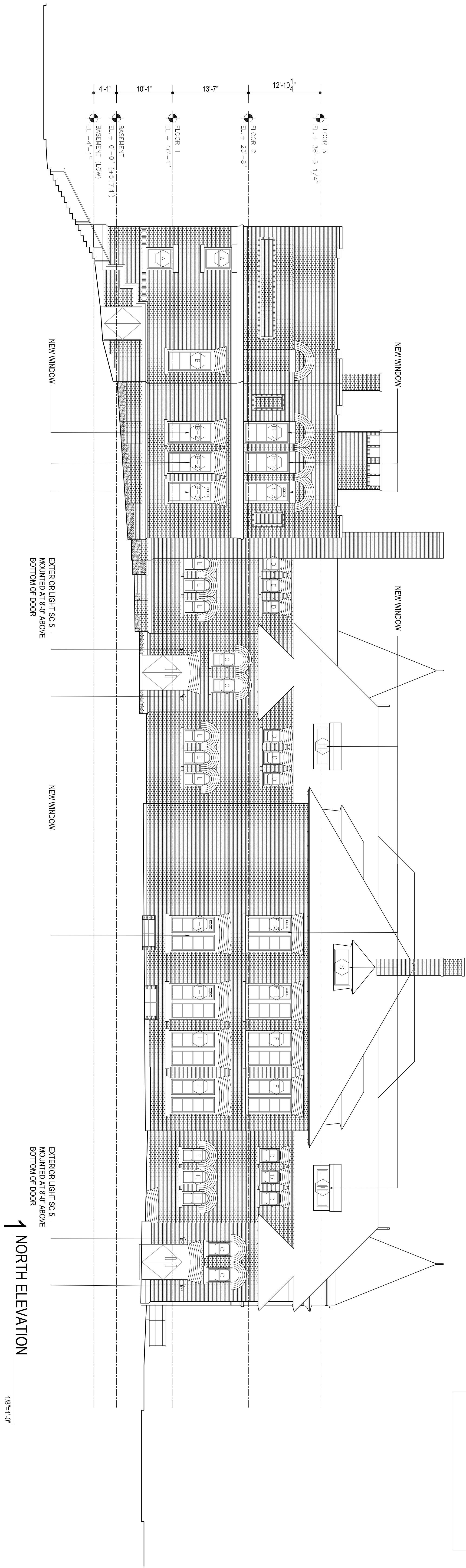
22-FEB-08 CDP/PERMIT SET

SHEETNAME DATE
TITLE

BUILDING ELEVATIONS

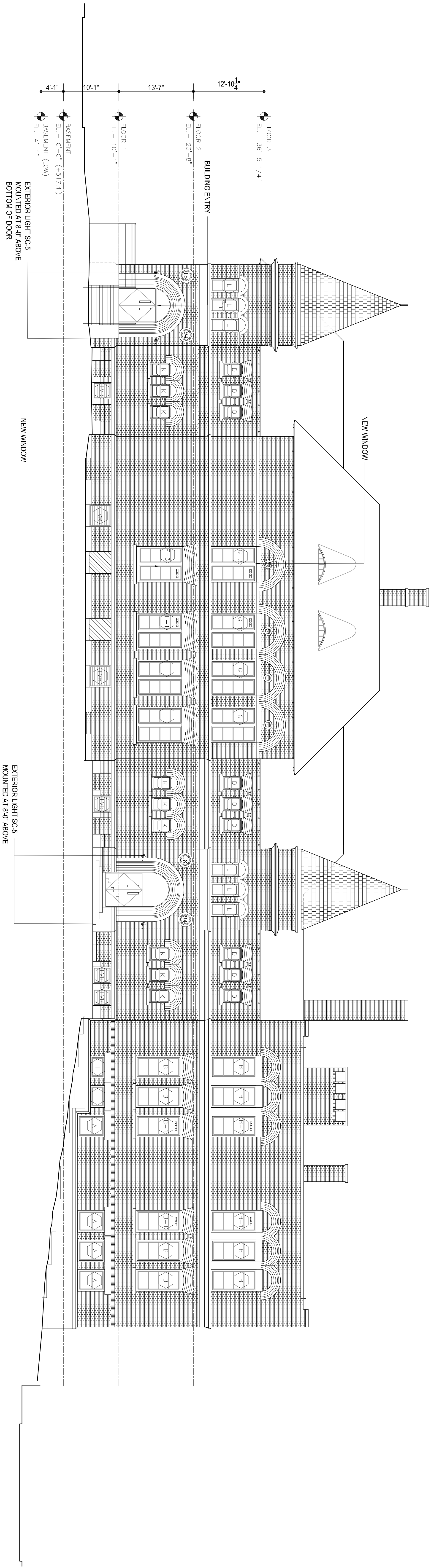
SCALE 1/8" = 1'-0"
TITLE UTE PROJECT NUMBER
DRAWING NUMBER 0707

A-3.11



1 NORTH ELEVATION

1/8"=1'-0"



2 SOUTH ELEVATION

1/8"=1'-0"

NOTES:
SEE WINDOW SCHEDULE A-3.12
FOR NEW + UPGRADED WINDOWS



1 WEST ELEVATION

1/8"=1'-0"



3 PARTIAL WEST ELEVATION

1/8"=1'-0"



2 PARTIAL WEST ELEVATION

1/8"=1'-0"

**SCHOOL
HOUSE LOFTS**
DARTMOUTH STREET SCHOOL
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WORCESTER, MA 02210

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cmdoston.com

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richmondsoc.com

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alliedconsulting.net

HAYES ENGINEERING, INC.
602 SALEM STREET
WAKEFIELD, MA 01880
T 781 246.2800 F 781 246.7596
hayeseng.com

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22-FEB-08	CDD/ERMIT SET
REVISIONS	
SET NAME	DATE
BUILDING ELEVATIONS	
SCALE	UTILE PROJECT NUMBER
1/8" = 1'-0"	0707
DRAWING NUMBER	

A-3.12

NOTES:
SEE WINDOW SCHEDULE A&I.2
FOR NEW + UPGRADED WINDOWS

**SCHOOL
HOUSE LOFTS**
DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT

LMM REALTY LLC
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OWNER

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cmdoston.com

CONTRACTOR

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STRUCTURAL

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SUDBURY, MA 01778
T 978 443.7288 F 978 443.4636
alliedconsulting.net

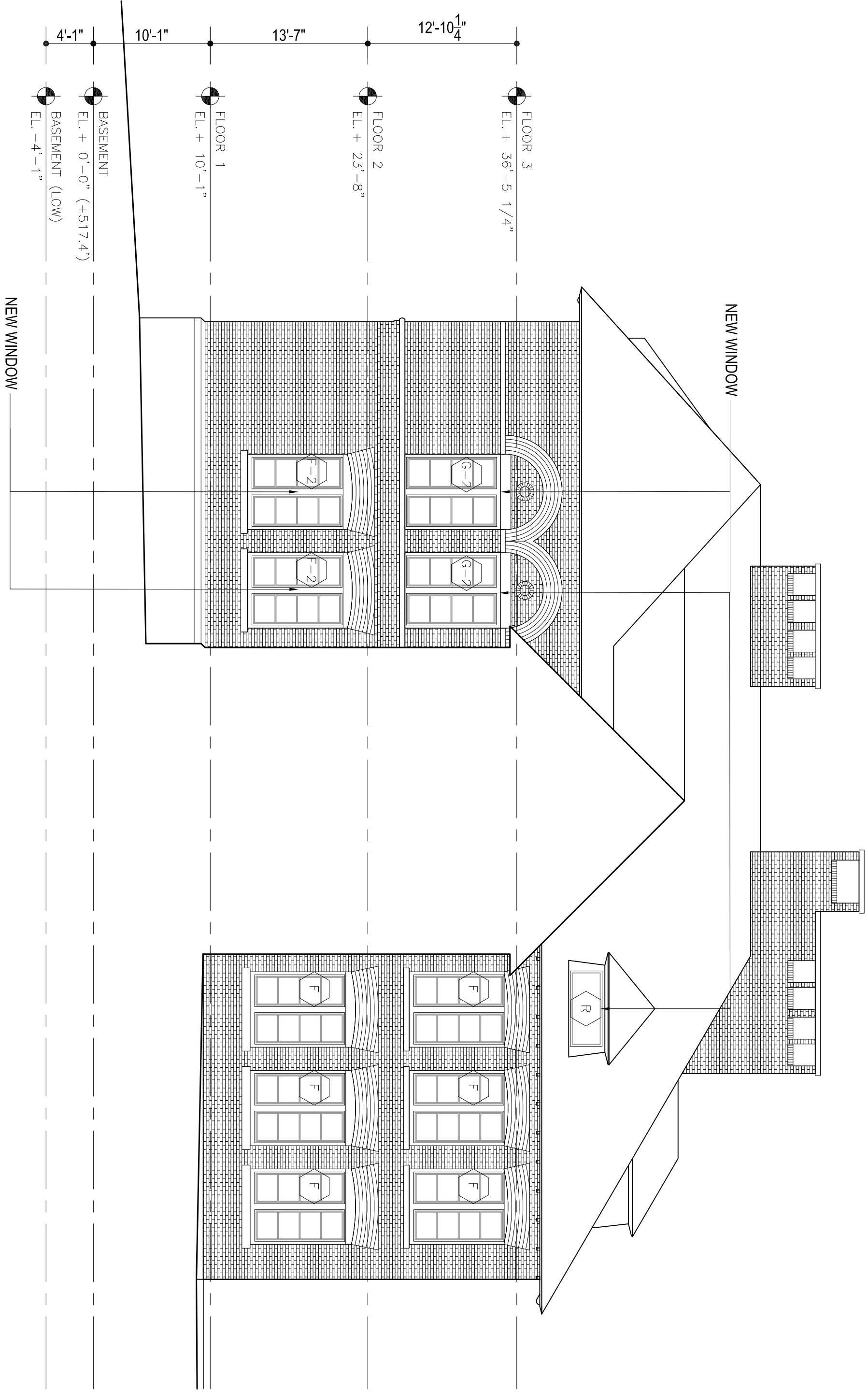
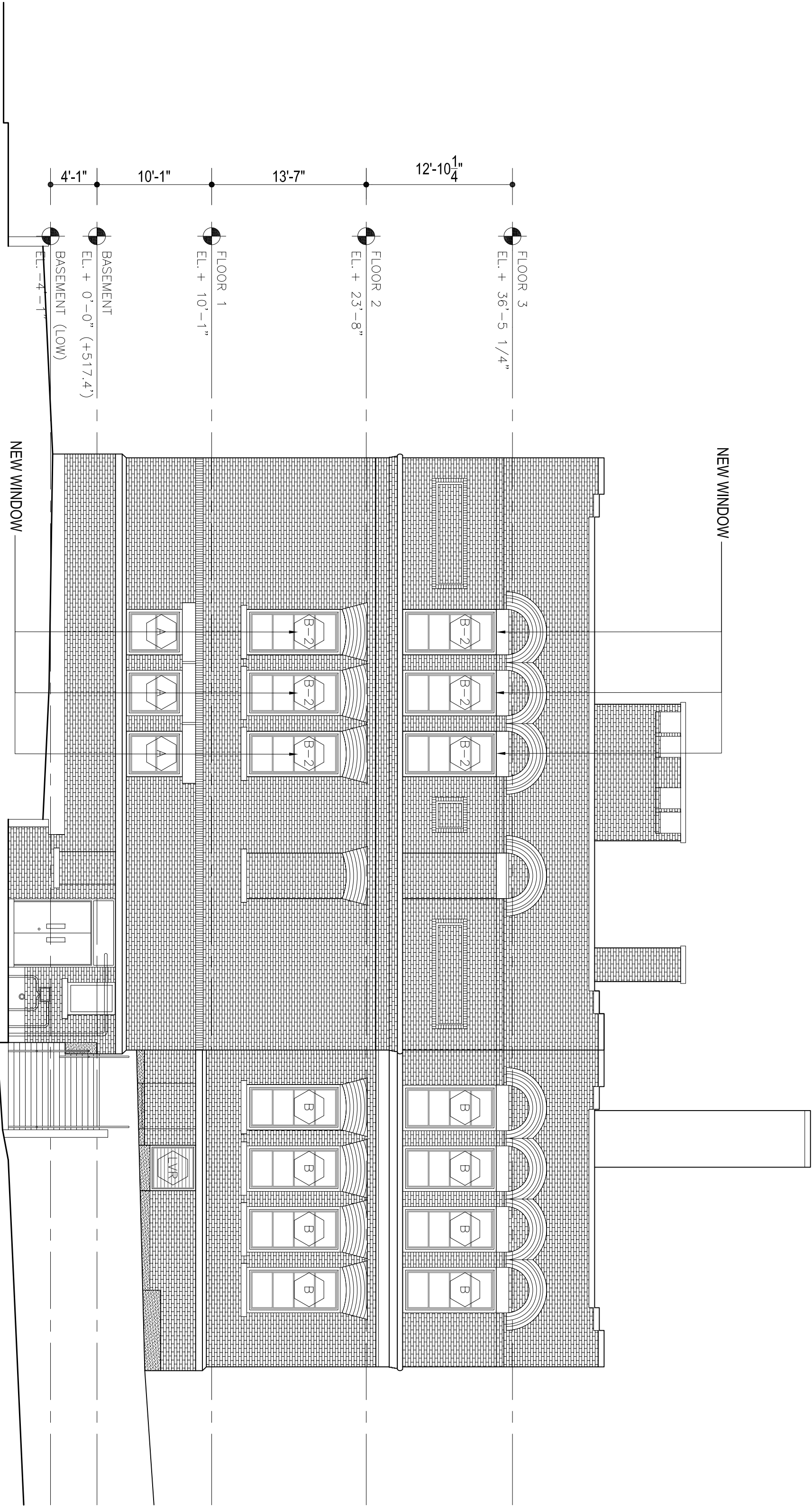
FIRE ALARM

HAYES ENGINEERING, INC.
602 SALEM STREET
WAKEFIELD, MA 01880
T 781 246.2800 F 781 246.7596
hayeseng.com

CIVIL

1 EAST ELEVATION

1/8"=1'-0"



2 PARTIAL EAST ELEVATION

1/8"=1'-0"

Stamp

REVISIONS

22-FEB-08 CDPERMIT SET

SHEET NAME DATE TITLE

BUILDING ELEVATIONS

SCALE 1/8" = 1'-0" UITLE PROJECT NUMBER 0707 DRAWING NUMBER

A-3.13

13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT

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ARCHITECTURE + URBAN DESIGN

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utitledesign.com

BOSTON, MA 02110
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cmdboston.com

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WATERTOWN, MA 02472
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richmondso.com

ALLIED CONSULTING
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SUDBURY, MA 01776
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alliedconsulting.net

FIRE ALARM

HAYES ENGINEERING, INC.
602 SALEM STREET
WAKEFIELD, MA 01880
T 781 246-2800 F 781 246-7596
hayeseng.com

1/8"=1'-0"



1/8"=1'-0"

A-4.1

STAMP

REVISIONS

22-FEB-08 CD/PERMIT SET

SETNAME	DATE
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BUILDING SECTIONS

SCALE	UTILITY PROJECT NUMBER
1/8" = 1'-0"	0707

DRAWING NUMBER

DRAWING NUMBER

**SCHOOL
HOUSE LOFTS**
DARTMOUTH STREET SCHOOL

PROJECT

LMM REALTY LLC
154 BROADWAY
SOMERVILLE, MA 02145
T 617 628.4900 F 617 628.0091

OWNER



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P 617 423.7200 F 617 423.1414
utitledesign.com

ARCHITECT

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SOMERVILLE, MA 02145
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cmdboston.com

TRACTOR

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richmondsoc.com

STRUCTURAL

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alliedconsulting.net

RE ALARM

HAYES ENGINEERING, INC.
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T 781 246.2800 F 781 246.7596
hayeseng.com

CIVIL

1 SECTION

1/8"=1'-0"



STAMP

22-FEB-08 CD/PERMIT SET

SETNAME	DATE
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BUILDING SECTIONS

SCALE	UTILE PROJECT NUMBER
1/8" = 1'-0"	0707
DRAWING NUMBER	

2 SECTION

 $1/8"=1'-0"$

A-4.12

**SCHOOL
HOUSE LOFTS**
DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT

LMM REALTY LLC
154 BROADWAY
SOMERVILLE, MA 02145
T 617 628.4900 F 617 625.0091

OWNER

utile
ARCHITECTURE + URBAN DESIGN

50 SUMNER STREET
BOSTON, MA 02110
P 617 423.7200 F 617 423.1414
utiledesign.com

ARCHITECT

CMD, LLC
104 BROADWAY
SOMERVILLE, MA 02145
T 617 628.5900 F 617 625.0091
cmdoston.com

CONTRACTOR

RICHMOND SO ENGINEERS
85 MAIN STREET
WATERTOWN, MA 02472
T 617 926.9300 F 617 926.9301
richmondsoc.com

STRUCTURAL

ALLIED CONSULTING
215 BOSTON POST ROAD
SUDBURY, MA 01778
T 978 443.7288 F 978 443.4636
alliedconsulting.net

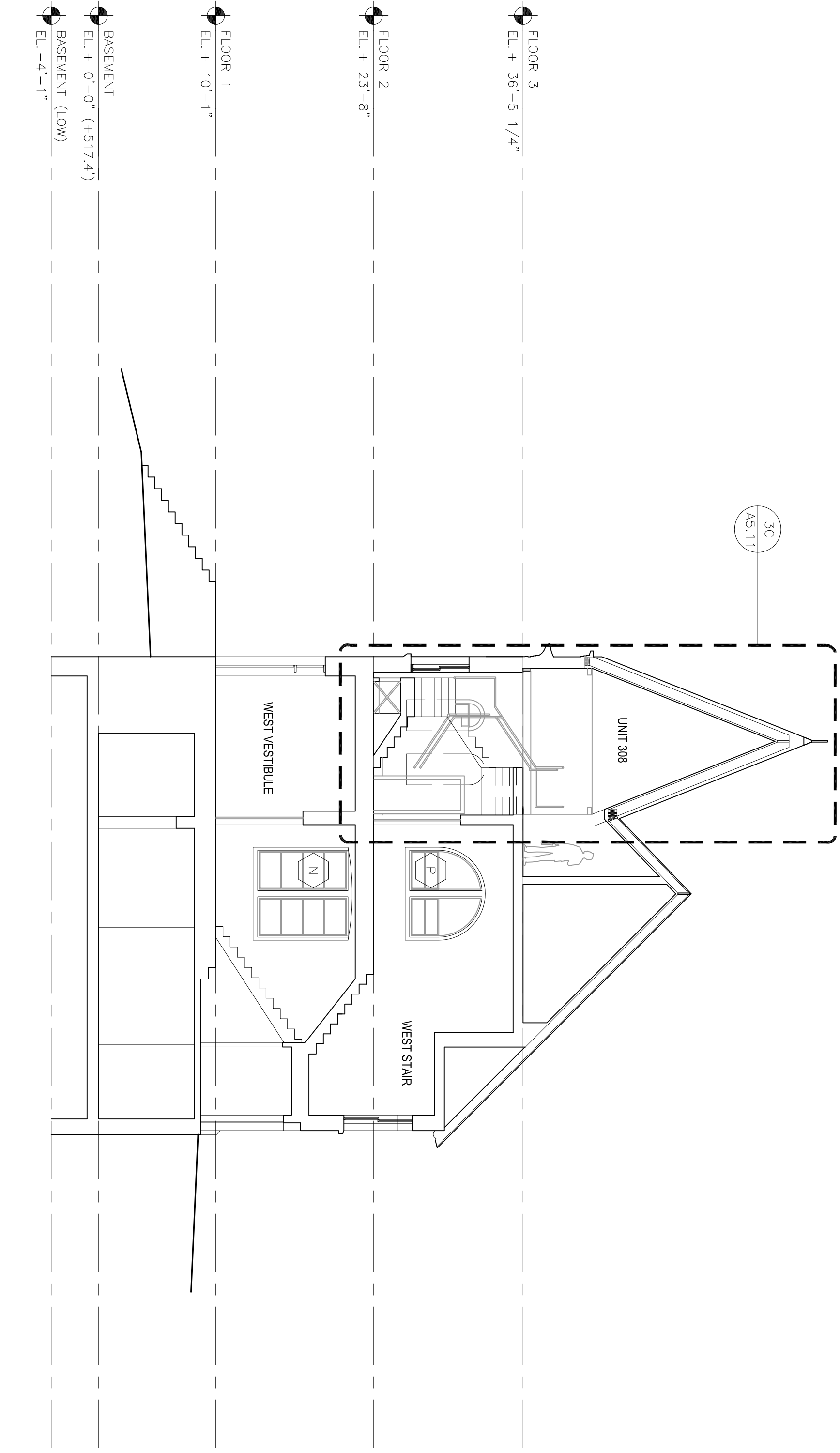
FIRE ALARM

HAYES ENGINEERING, INC.
602 SALEM STREET
WAKEFIELD, MA 01880
T 781 246.2800 F 781 246.7596
hayeseng.com

CIVIL

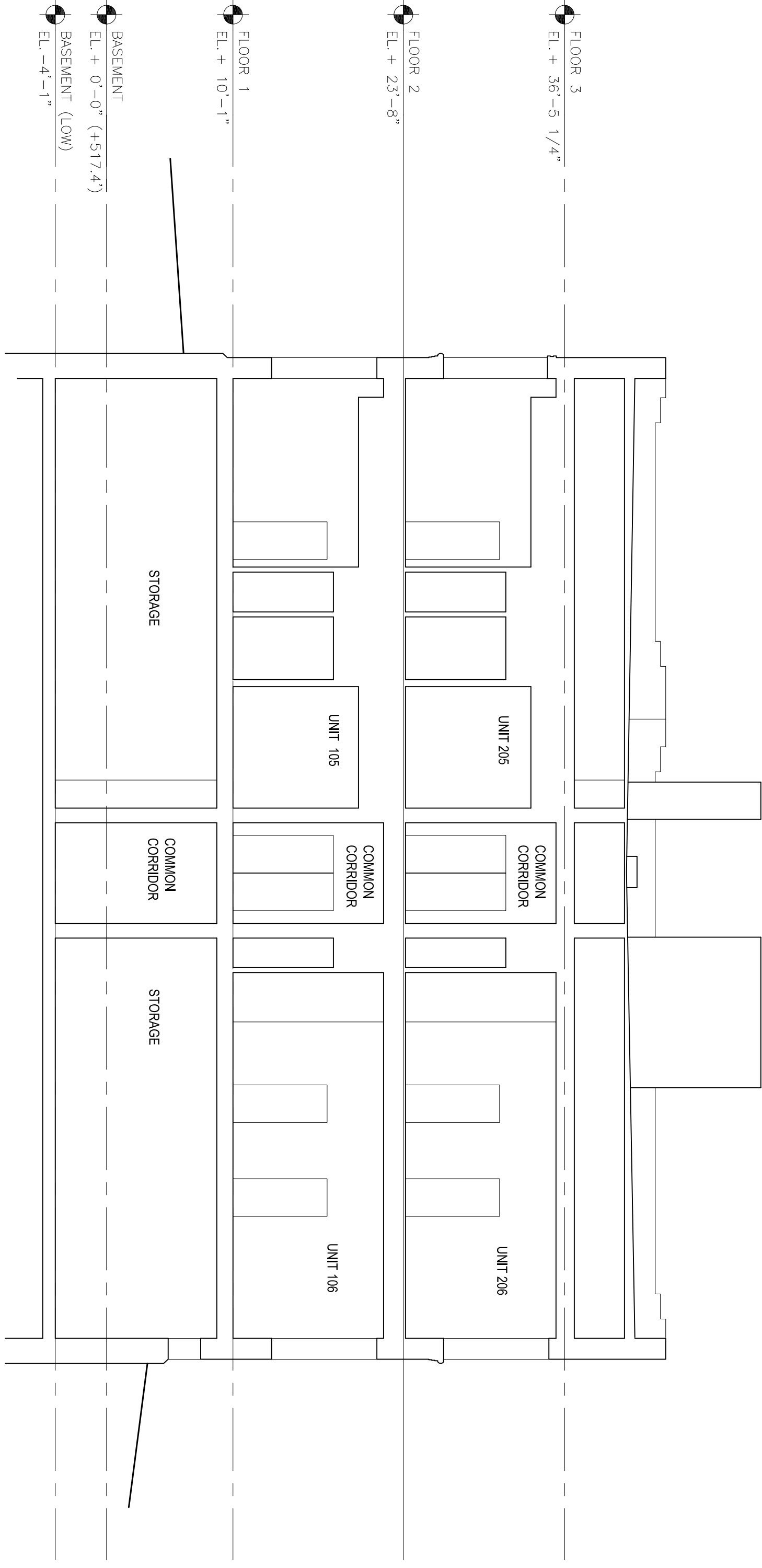
2 SECTION

1/8"=1'-0"



1 SECTION

1/8"=1'-0"



REVISIONS

22-FEB-08 CD PERMIT SET

SHEETNAME DATE TITLE

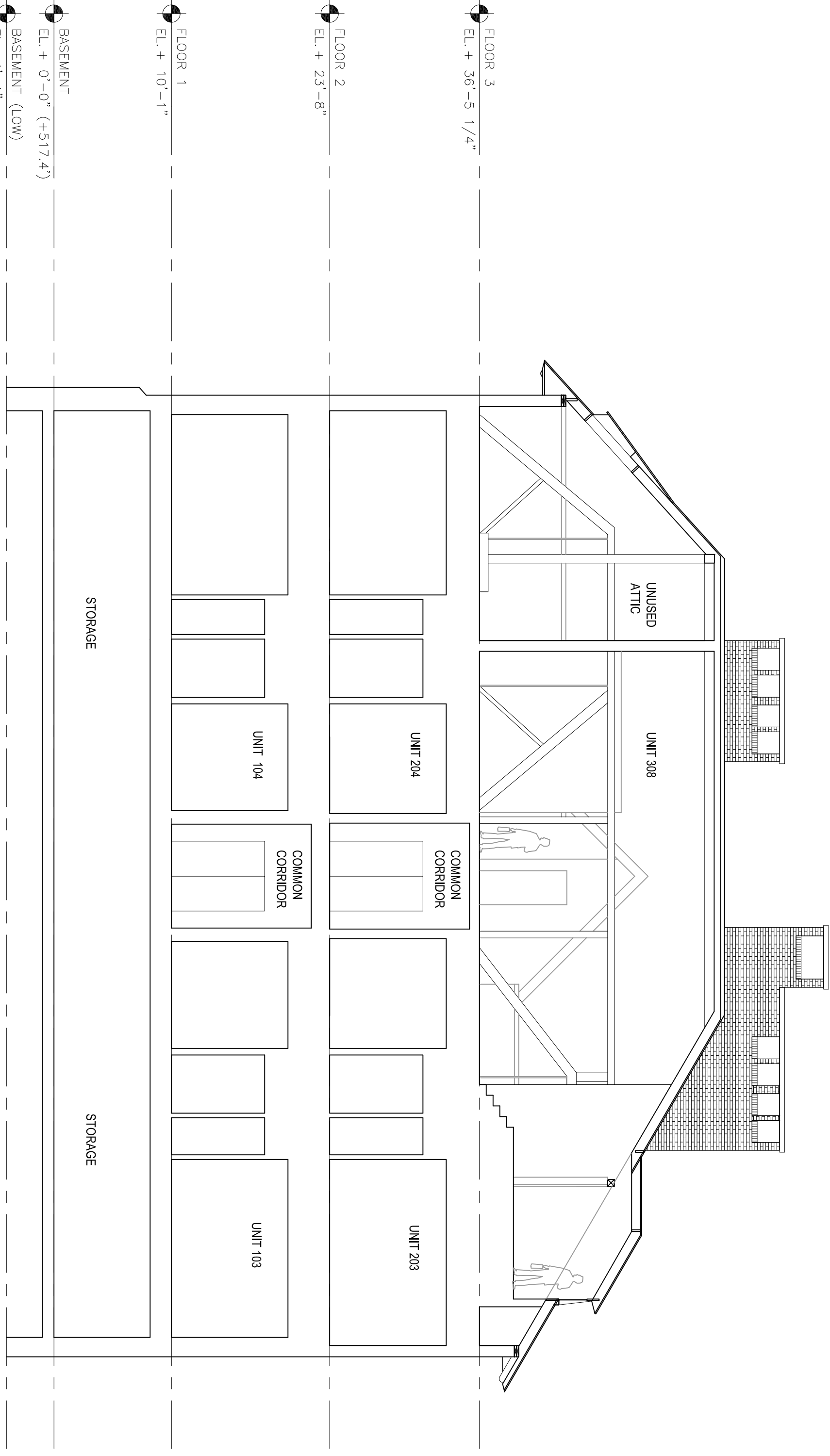
BUILDING SECTIONS

SCALE 1/8" = 1'-0"
UTIL PROJECT NUMBER 0707
DRAWING NUMBER

A4.13

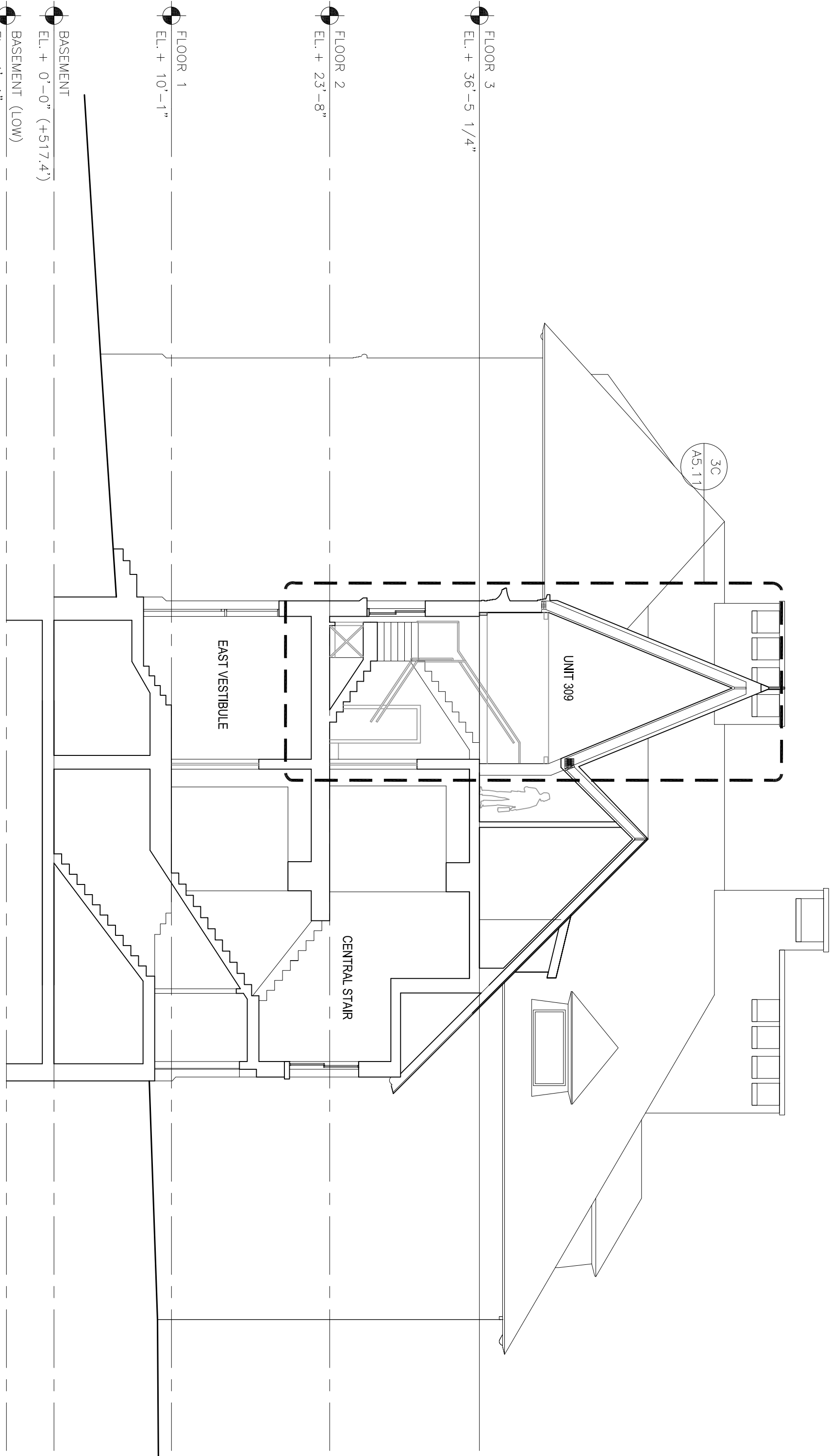
3 SECTION

1/8"=1'-0"



4 SECTION

1/8"=1'-0"



SCHOOL
HOUSE LOFTS
DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT

LMM REALTY LLC

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OWNER

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STAMP

REVISIONS

22-FEB-08 CDP/ERMIT SET

SHEET NO. DATE TITLE

UNIT 308 TOWER STAIRS
ENLARGED PLANS AND
SECTIONS

AS NOTED SCALE 1/2" = 1'-0"

0707 DRAWING NUMBER

A5.11

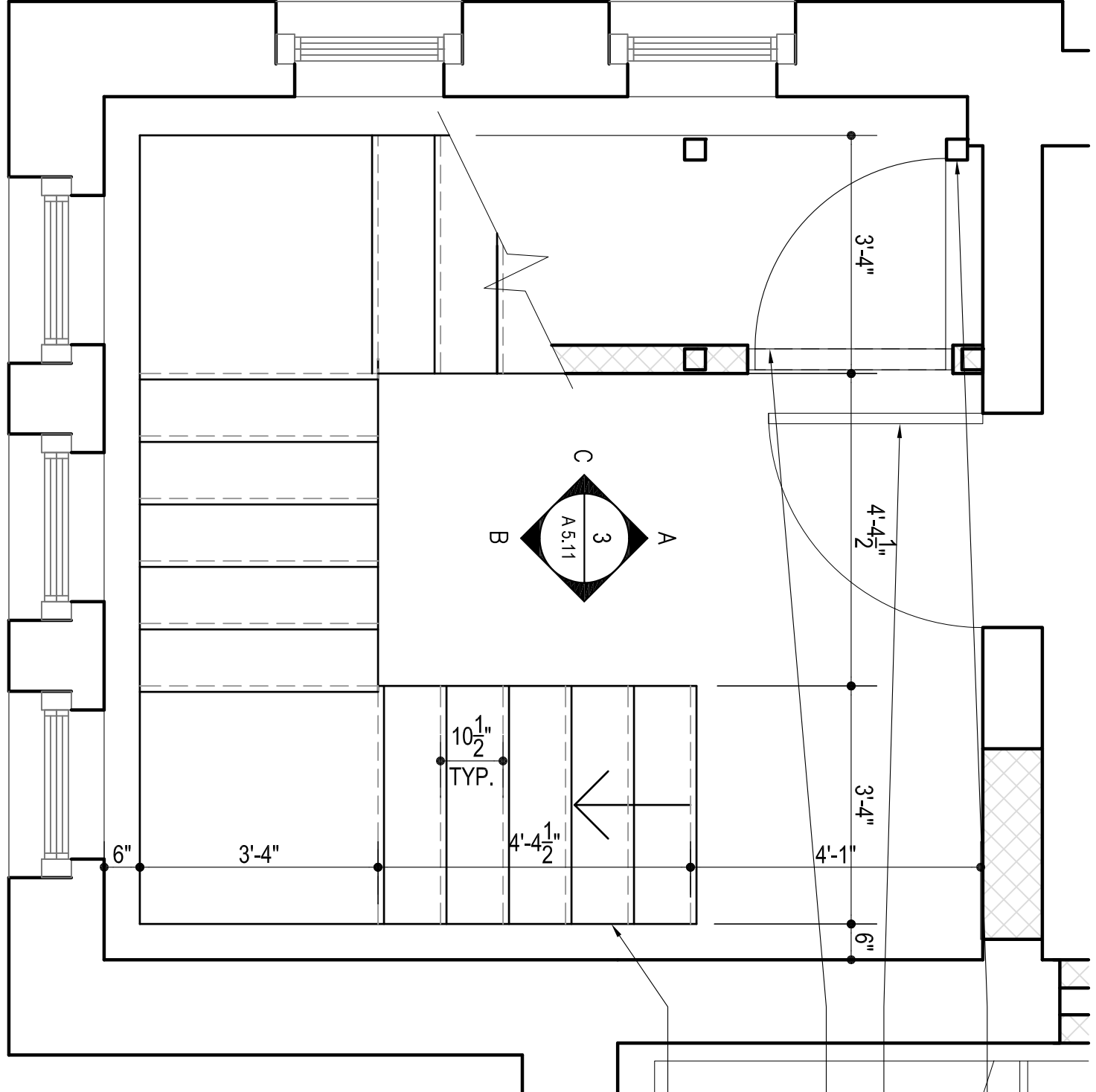
GENERAL NOTES:

- PER CHAPTER 27 OF IBC, ARCHITECTURAL ACCESS BOARD
- 1) STAIRWAYS SHALL HAVE CONTINUOUS HANDRAILS AT BOTH SIDES OF STAIRS. THE INSIDE OF HANDRAIL ON SWITCHBACK OR DOGGIE STAIRS SHALL ALWAYS BE CONTINUOUS.
- EXCEPTION: IN ACCORDANCE WITH CHAPTER 10 OF 780 CMR (014.1),** STAIRWAYS WITHIN A DWELLING UNIT SHALL BE EQUIPPED WITH A MINIMUM OF ONE HANDRAIL.
- 2) TOP OF HANDRAIL SURFACE SHALL BE MOUNTED BETWEEN 34" AND 38" ABOVE STAIR NOSING.
- 3) WHERE HANDRAILS TERMINATE AT THE TOP AND BOTTOM OF A STAIR RUN, THEY SHALL HAVE EXTENSIONS THAT COMPLY WITH THE FOLLOWING:
- A.) AT THE TOP, EXTEND AT LEAST 12" BEYOND WITH TOP RISER AND PARALLEL WITH FLOOR OR GROUND SURFACE.
- B.) AT THE BOTTOM, EXTEND AT LEAST 12" PLUS THE WIDTH OF ONE TREAD FROM THE BOTTOM RISER. THE HANDRAIL SHALL CONTINUE TO SLOPE FOR A DISTANCE OF THE WIDTH OF ONE TREAD FROM THE BOTTOM RISER. THE REMAINDER OF THE EXTENSION SHALL BE HORIZONTAL.
- EXCEPTION: IN ACCORDANCE WITH CHAPTER 10 OF 780 CMR (022.2),** WITHIN A DWELLING UNIT, THE HORIZONTAL EXTENSION BEYOND THE TOP RISER OF THE STAIRWAY AND THE EXTENSION BEYOND THE BOTTOM OF THE STAIRWAY FLIGHT ARE NOT REQUIRED.

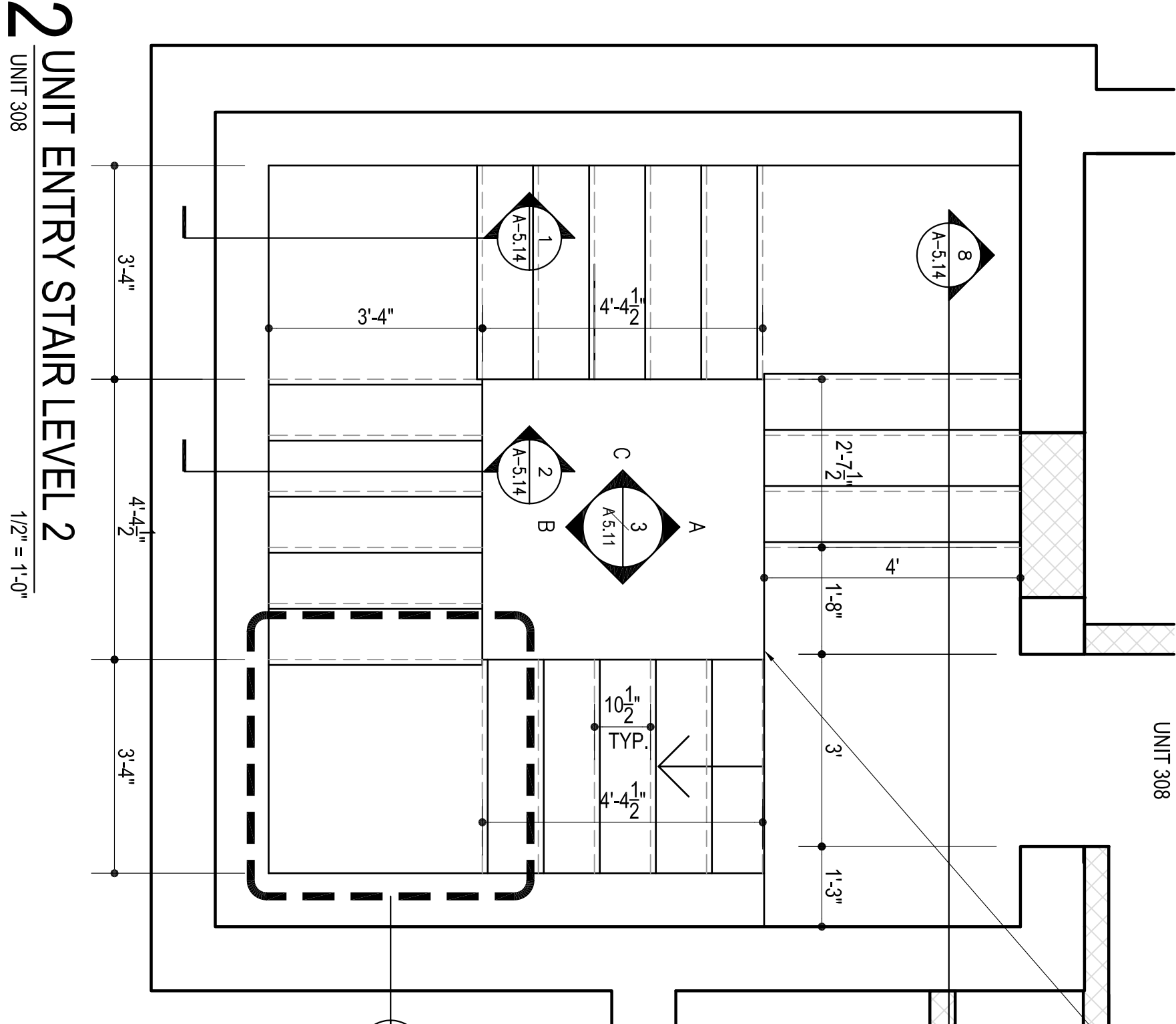
- 4) HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER BETWEEN 1-1/4" AND 2".
- 5) THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL BE 1-1/2".
- 6) HANDRAILS SHALL NOT ROUTE WITHIN THEIR FITTINGS.
- 7) THE UNDERSIDES OF NOSINGS CAN NOT BE ABUPT. NOSINGS SHALL PROJECT NO MORE THAN 1-1/2". RISERS SHALL BE SLOPED OR NOSING SHALL HAVE AN ANGLE OF NOT LESS THAN 60 DEGREES FROM HORIZONTAL.

NOTE:

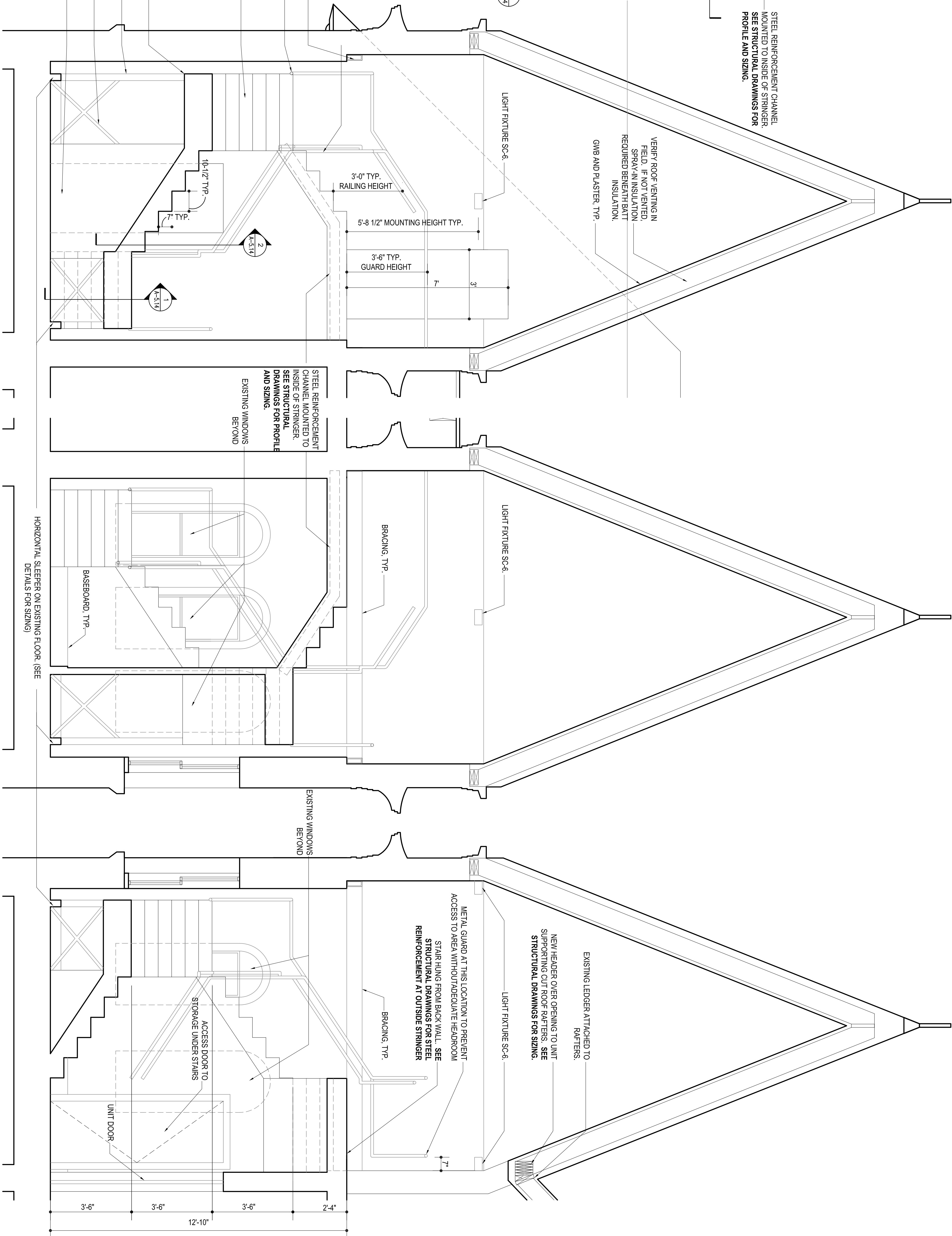
ALL EXISTING CONDITIONS DIMENSIONS ARE APPROXIMATE. ACCURATE MEASUREMENTS WERE TAKEN WHERE NECESSARY TO INSURE THAT NEW DESIGN ELEMENTS WILL MEET MA. BUILDING CODE REQUIREMENTS, SUCH AS HEAD-HEIGHT AND EGRESS CLEARANCES. ALL NEW CONSTRUCTION MUST BE BUILT ACCORDING TO THESE KEY DIMENSIONS TO MEET CODE REQUIREMENTS.



1 UNIT ENTRY STAIR LEVEL 1
1/2" = 1'-0"



2 UNIT ENTRY STAIR LEVEL 2
1/2" = 1'-0"



3A UNIT 308 ENTRY STAIR
1/2" = 1'-0"

3B UNIT 308 ENTRY STAIR
1/2" = 1'-0"

3C UNIT 308 ENTRY STAIR
1/2" = 1'-0"

SCHOOL
HOUSE LOFTS

DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT

LMM REALTY LLC

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FIRE ALARM

HAYES ENGINEERING, INC.

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WAKEFIELD, MA 01880
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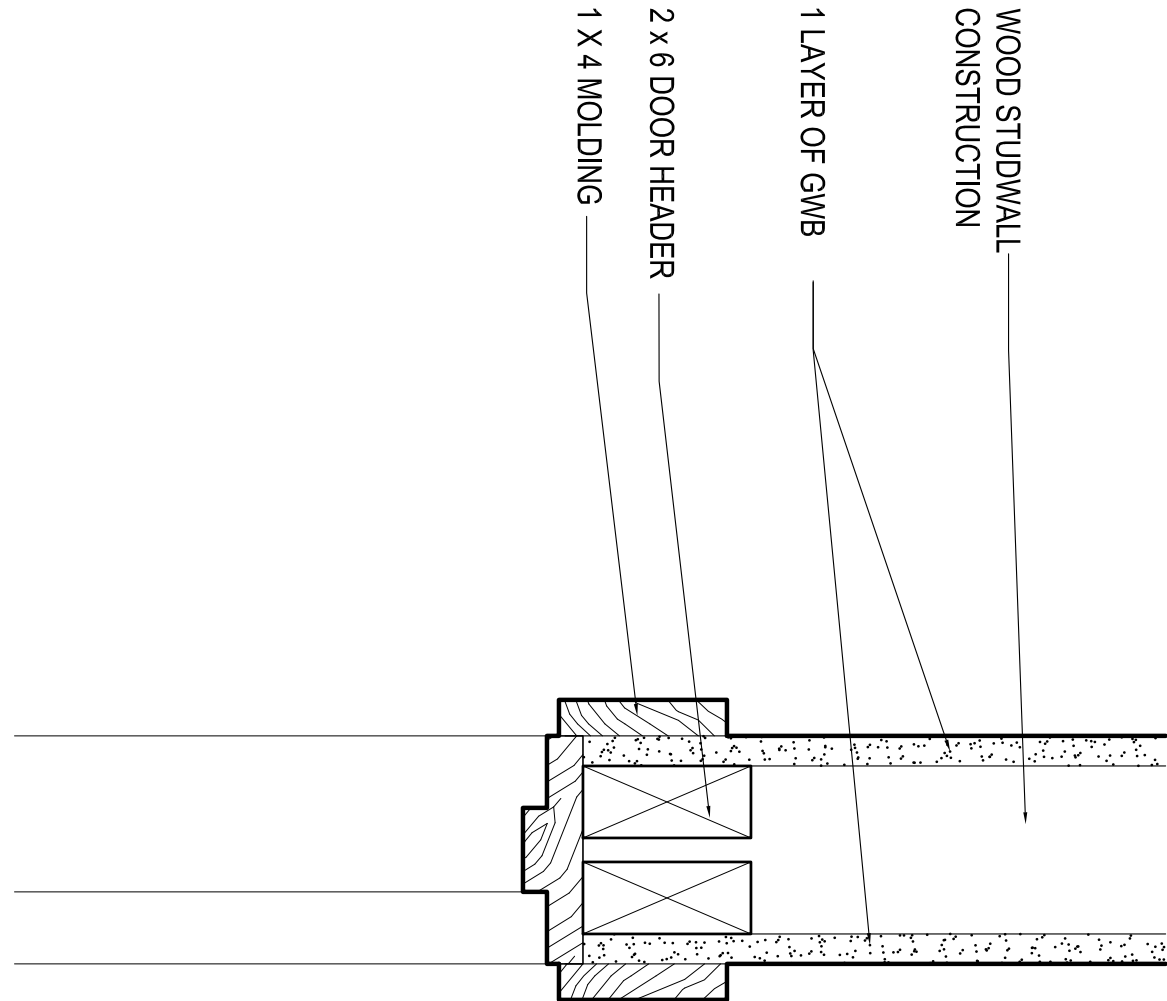
CIVIL

REVISIONS	
22-FEB-08	CDD/PERMIT SET

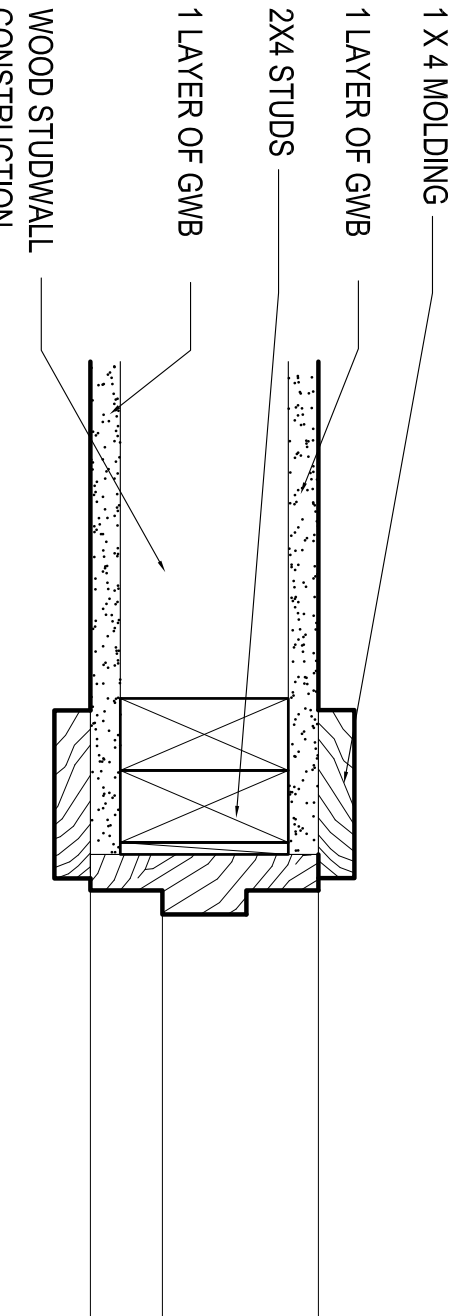
SETNAME	DATE	TITLE
INTERIOR DETAILS		

SCALE	UTIL PROJECT NUMBER
AS NOTED	0707
DRAWING NUMBER	

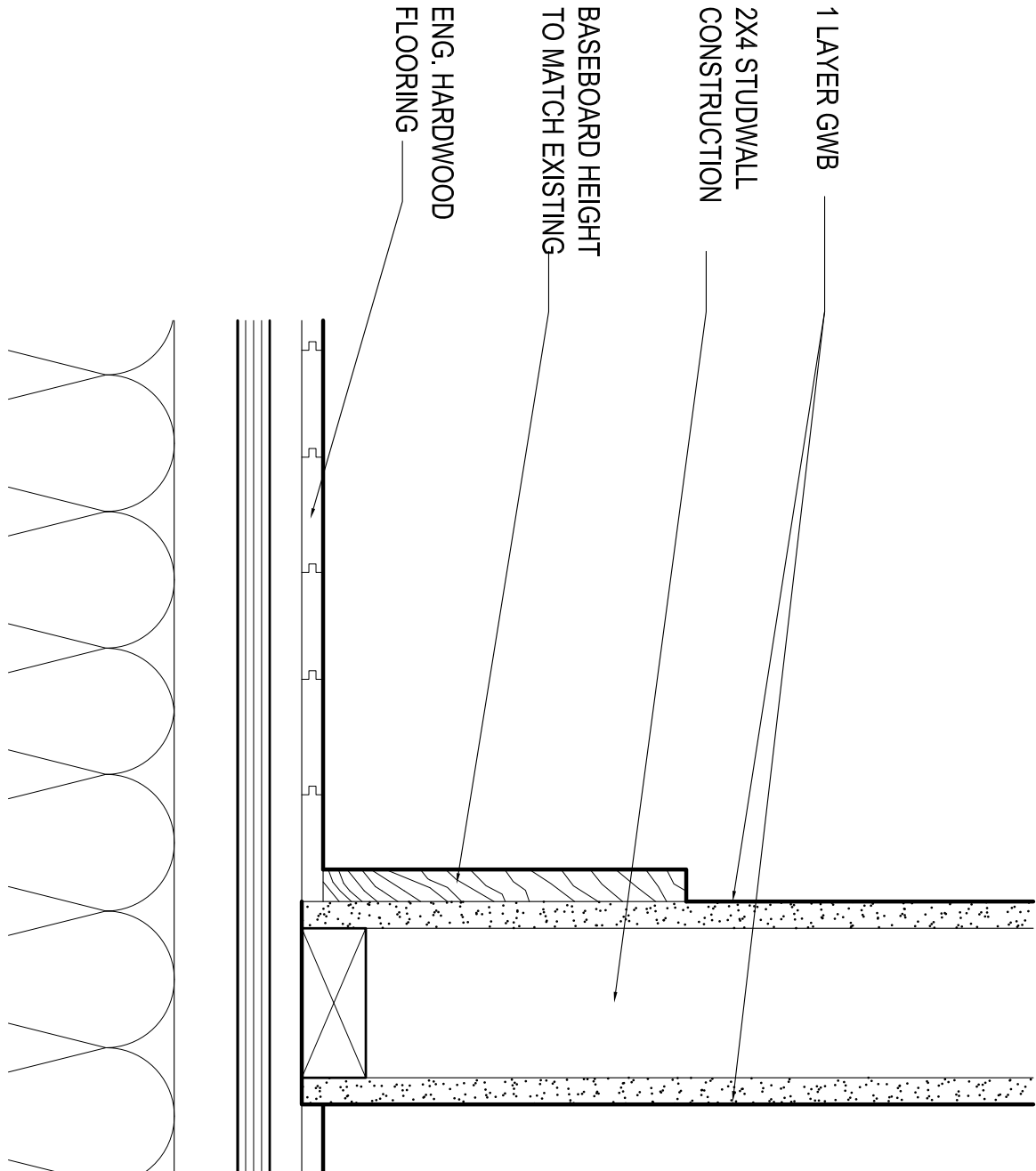
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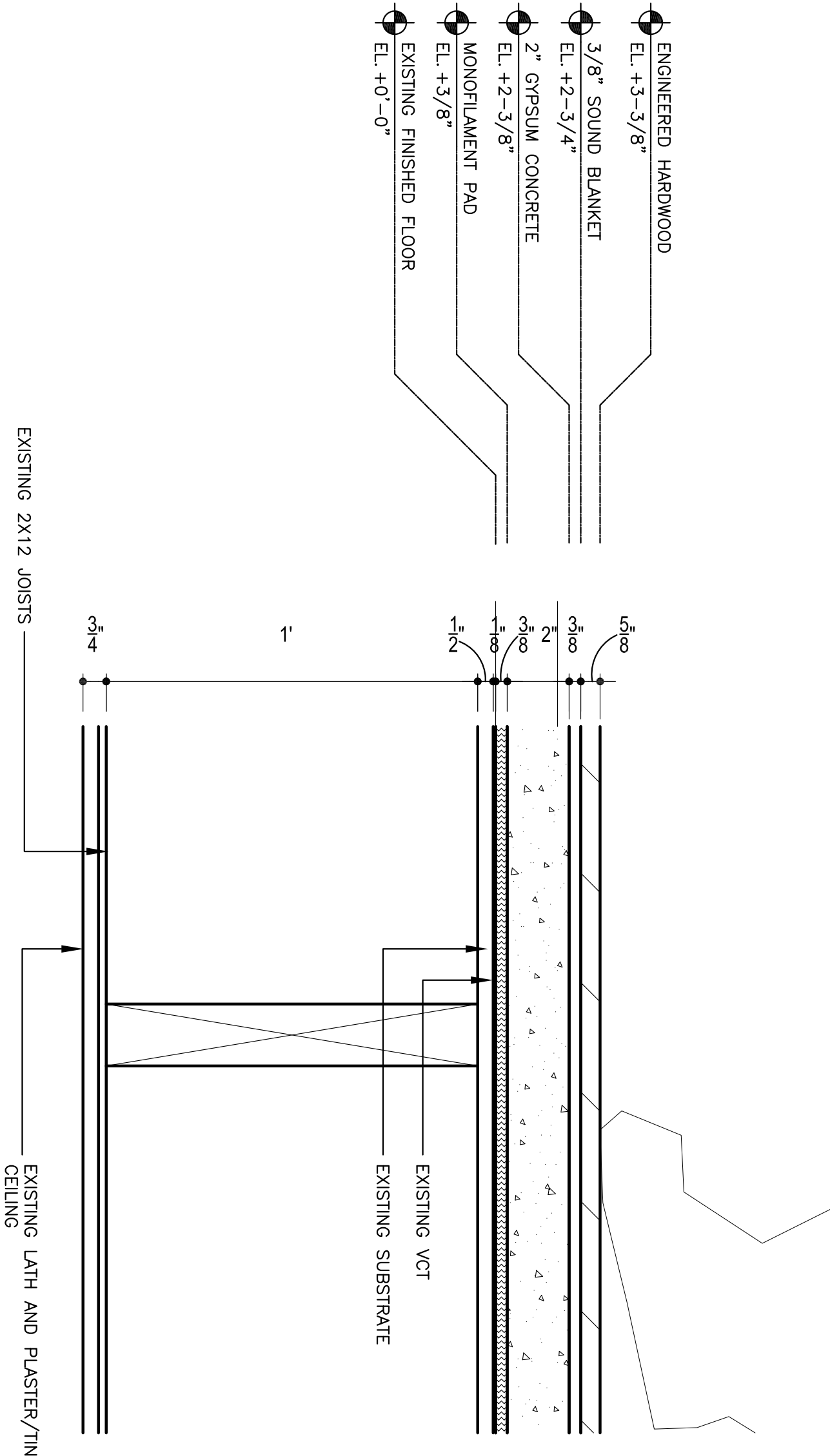
1 TYP. INTERIOR WOOD DOOR HEAD
3/8"=1'-0"



2 TYP. INTERIOR WOOD DOOR JAMB
3/8"=1'-0"



3 TYP. BASEBOARD DETAIL
3/8"=1'-0"



NOTE: FINISHED FLOOR ASSEMBLY TO PROVIDE AN STC RATING OF 45 OR HIGHER PER 780 CAR 1214.2.3.
NOTE: FLOOR/CEILING ASSEMBLY TO PROVIDE A MINIMUM FIRE RATING OF 1-HOUR.

4 DETAIL AT SOUNDPROOFING, TYPICAL
3/8"=1'-0"

**SCHOOL
HOUSE LOFTS**
DARTMOUTH STREET SCHOOL

PROJECT

LMM REALTY LLC
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hayeseng.com

Shape

A7.11

13 DARTMOUTH STREET
WORCESTER, MA 02210

13 DARTMOUTH STREET
WORCESTER, MA 02210

LMM REALTY LLC

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FIRE ALARM

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CIVIL

REVISIONS

22-FEB-08 CD/PERMIT SET

SETNAME	DATE
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TITLE

ENLARGED KITCHEN
PLANS AND ELEVATIONS

SCALE	UTILITY PROJECT NUMBER
1/2" = 1'-0"	0707

SCALE	UTILITY PROJECT NUMBER
1/2" = 1'-0"	0707

A7.12

SCHOOL HOUSE LOFTS
DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PRODUCT
LMM REALTY LLC
154 BROADWAY
SOMERVILLE, MA 02145
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OWNER

utitle
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utitledesign.com
ARCHITECT

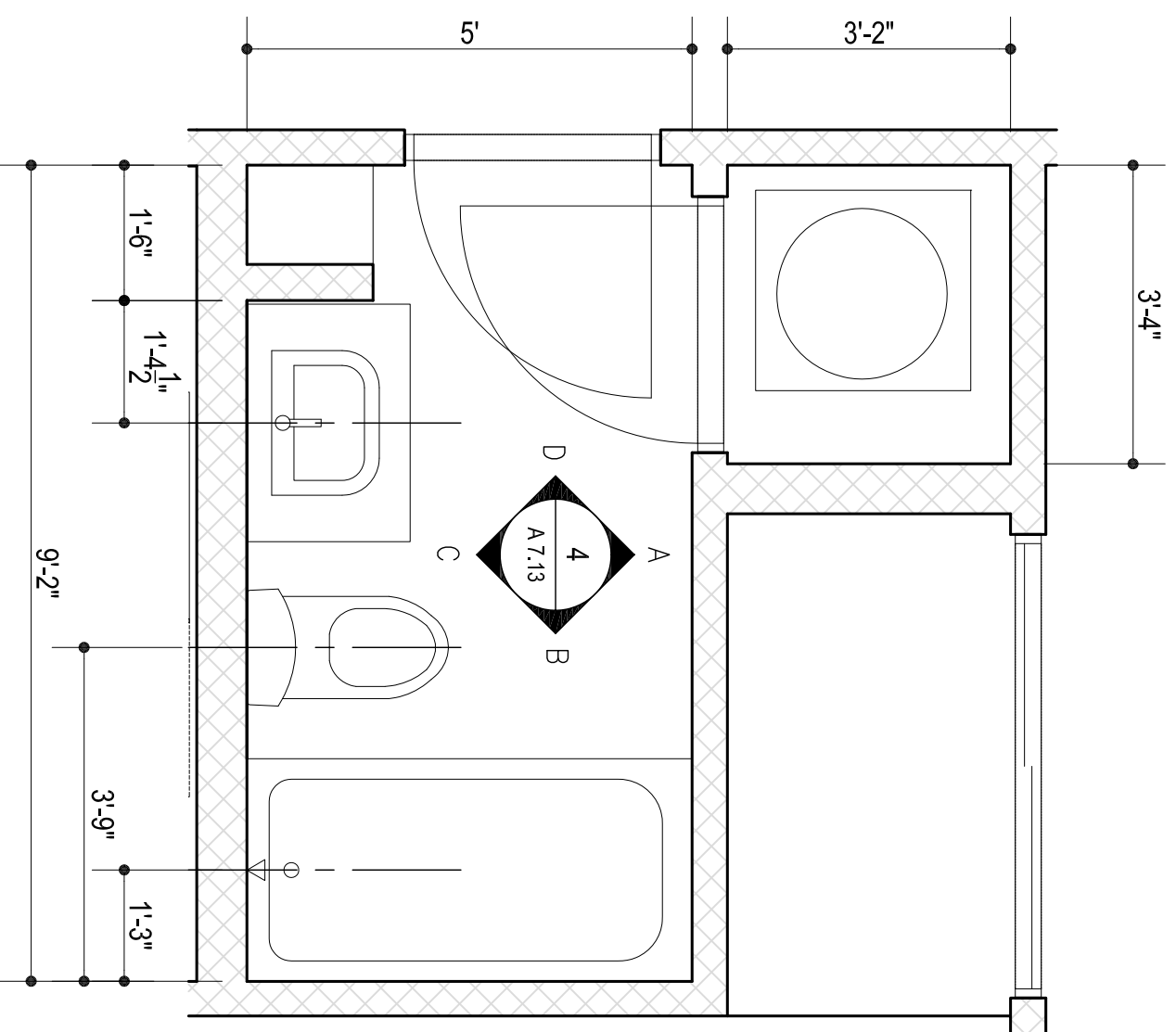
CMD, LLC
104 BROADWAY
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T 617 628.3900 F 617 625.0091
CONTRACTOR

RICHMOND SO ENGINEERS
85 MAIN STREET
WATERTOWN, MA 02472
T 617 926.9300 F 617 926.9301
richmondsoc.com
STRUCTURAL

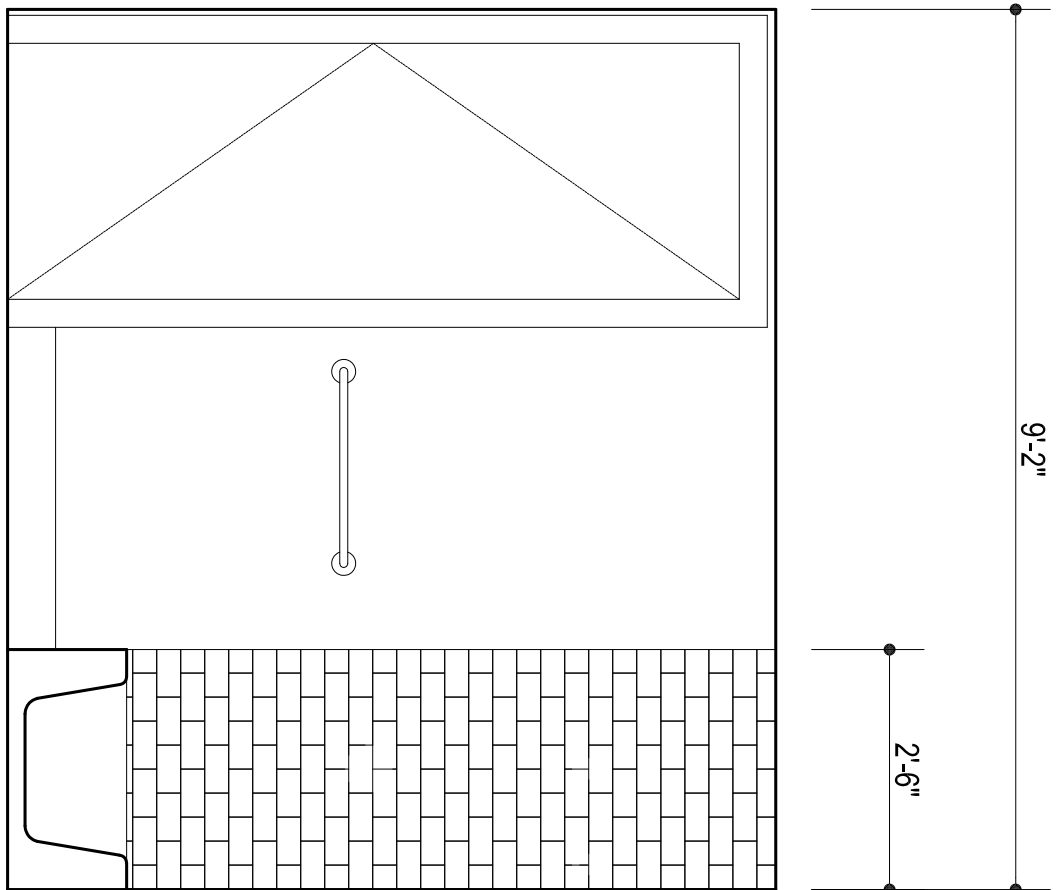
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215 BOSTON POST ROAD
SUDBURY, MA 01778
T 978 443.7288 F 978 443.4636
alliedconsulting.net
FIRE ALARM

HAYES ENGINEERING, INC.
602 SALEM STREET
WAKEFIELD, MA 01880
T 781 246.2800 F 781 246.7596
hayeseng.com
CIVIL

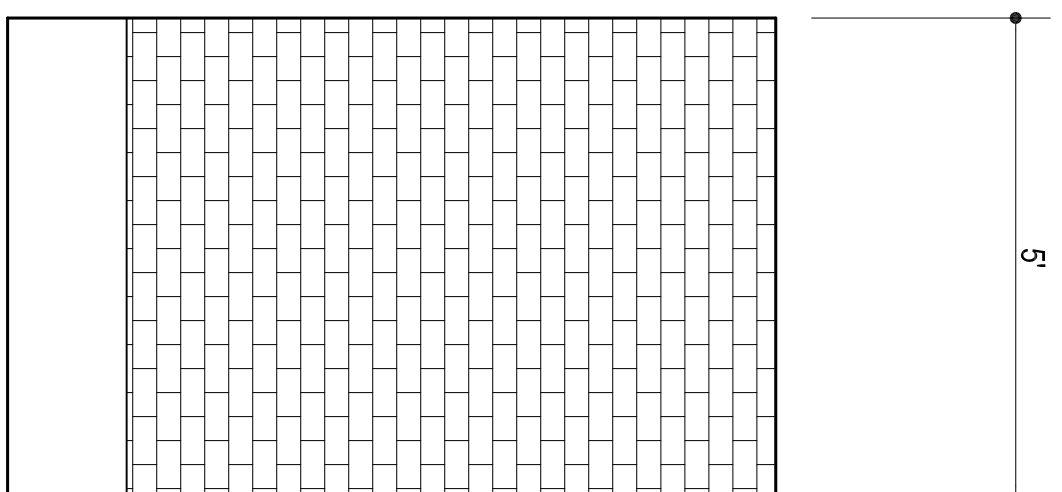
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1/12" = 1'-0"	0707	DRAWING NUMBER
REVISIONS		
22-FEB-08	CD PERMIT SET	
ENLARGED BATHROOM PLANS & ELEVATIONS		DATE TITLE



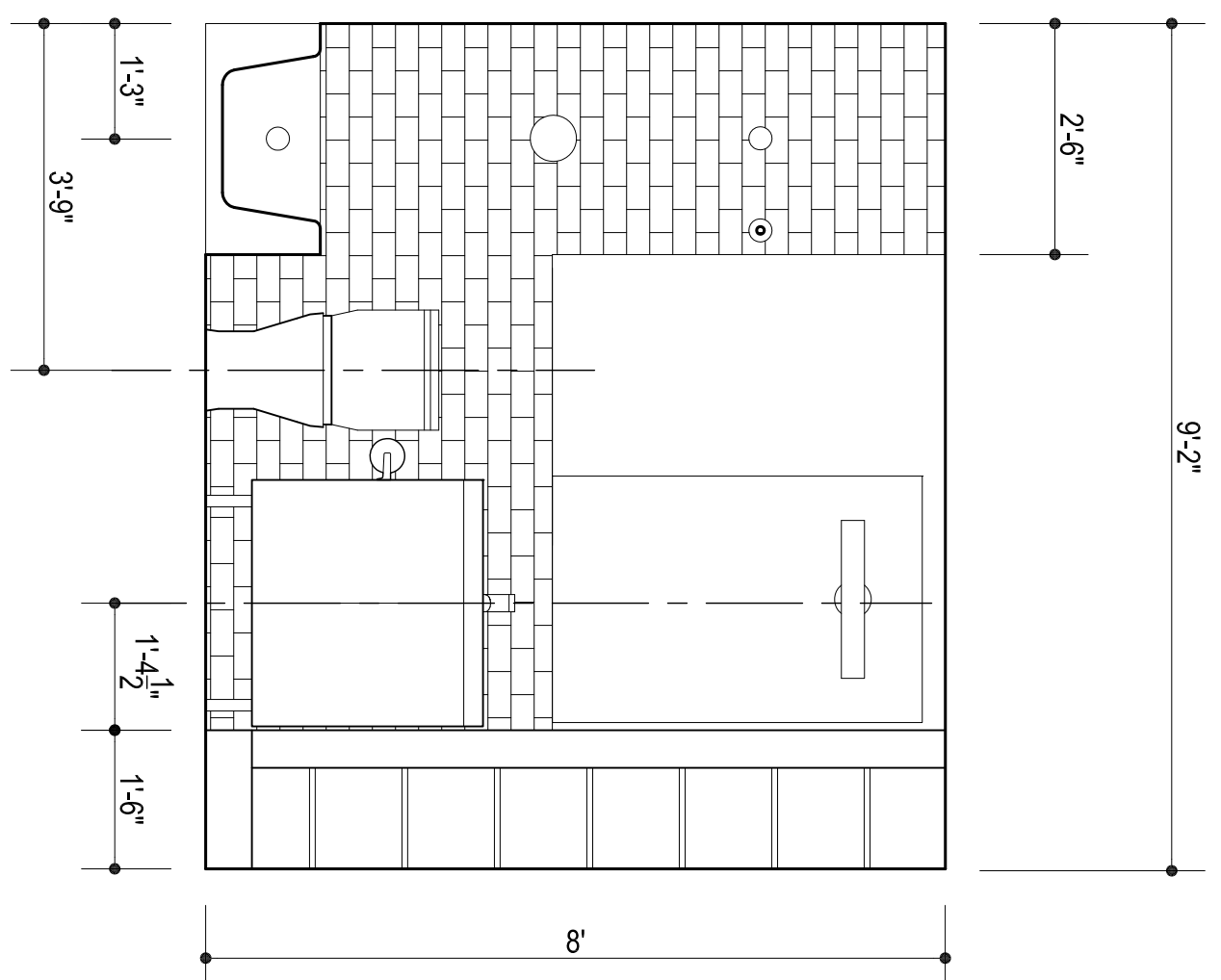
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UNIT 101 104 201 204 / UNIT 102 103 202 203 SIML. 1/12" = 1'-0"



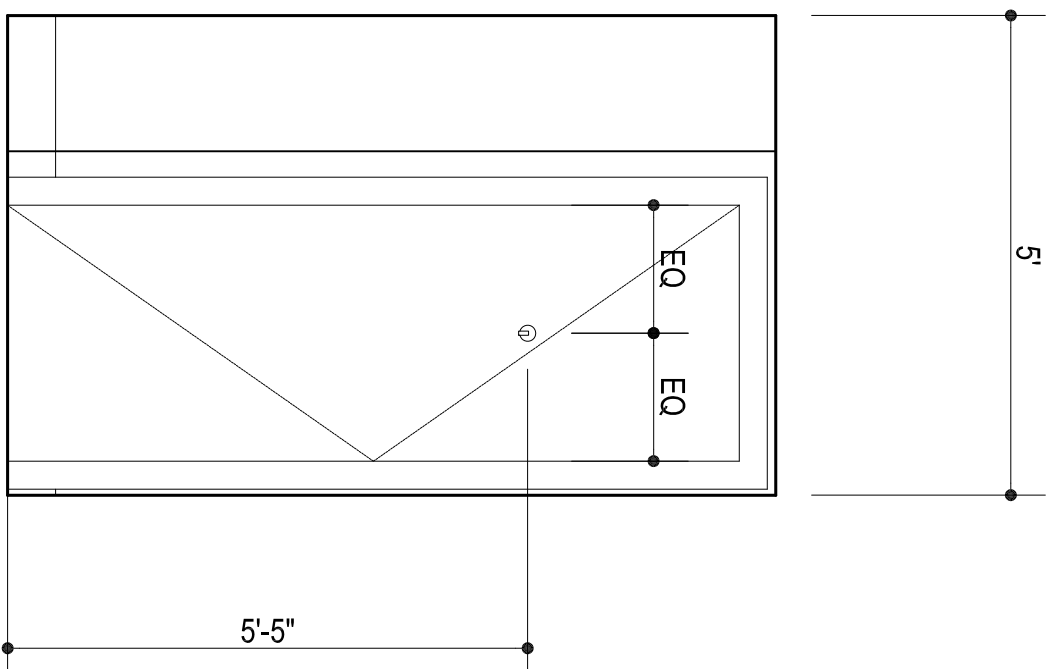
4A ENLARGED BATHROOM ELEVATION
UNIT 101 104 201 204 / UNIT 102 103 202 203 SIML. 1/12" = 1'-0"



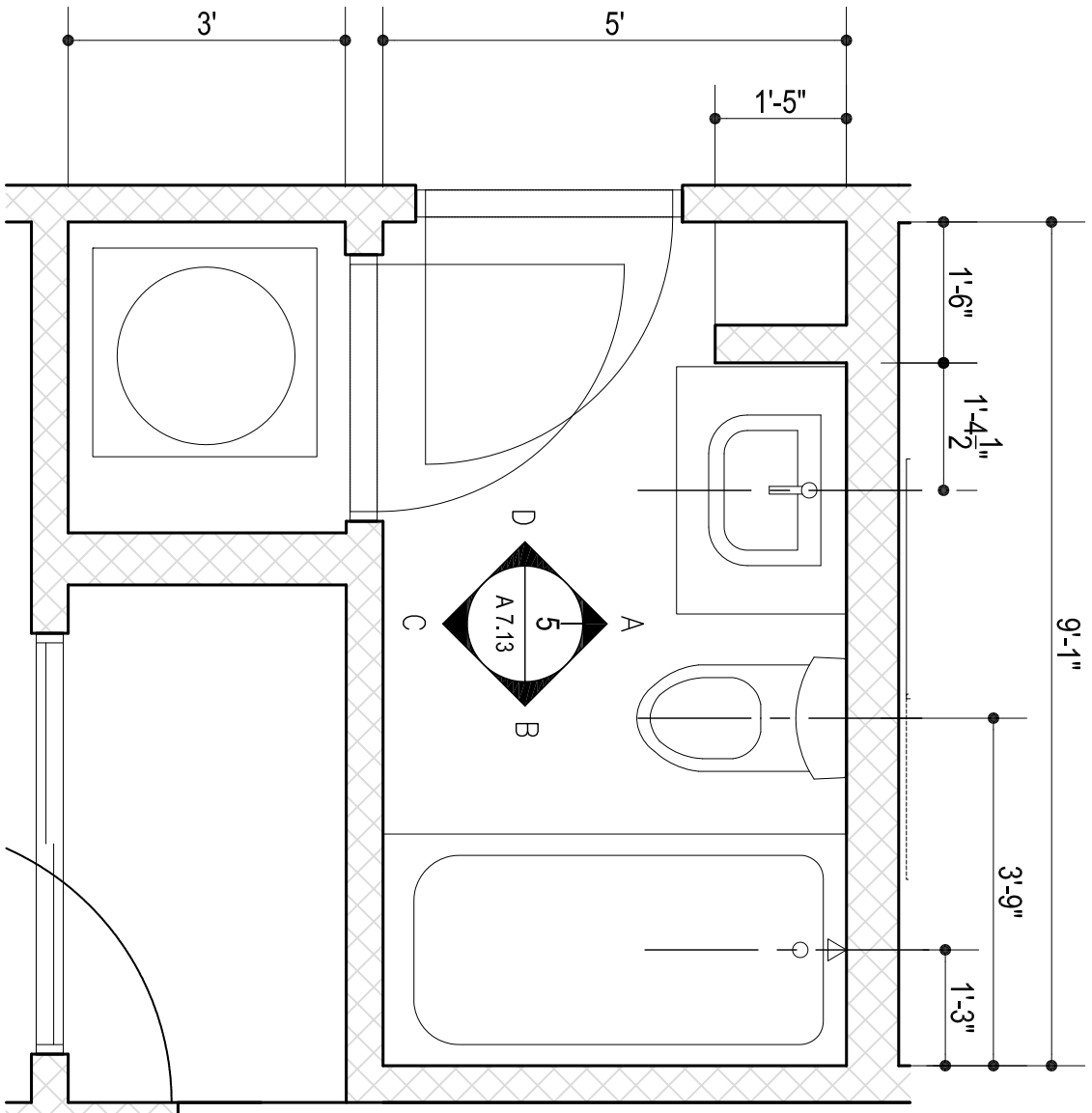
4B ENLARGED BATHROOM ELEVATION
UNIT 101 104 201 204 / UNIT 102 103 202 203 SIML. 1/12" = 1'-0"



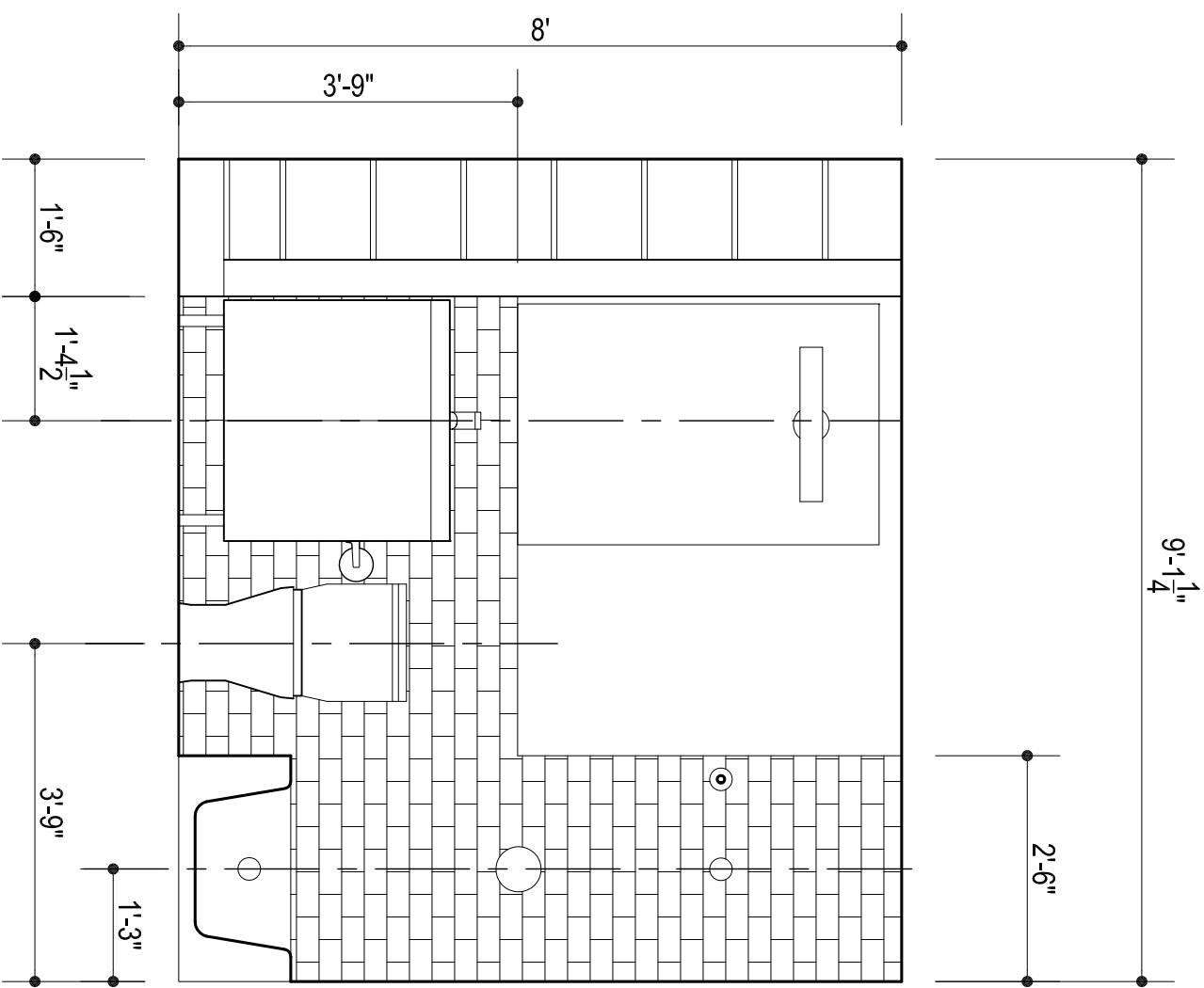
4C ENLARGED BATHROOM ELEVATION
UNIT 101 104 201 204 / UNIT 102 103 202 203 SIML. 1/12" = 1'-0"



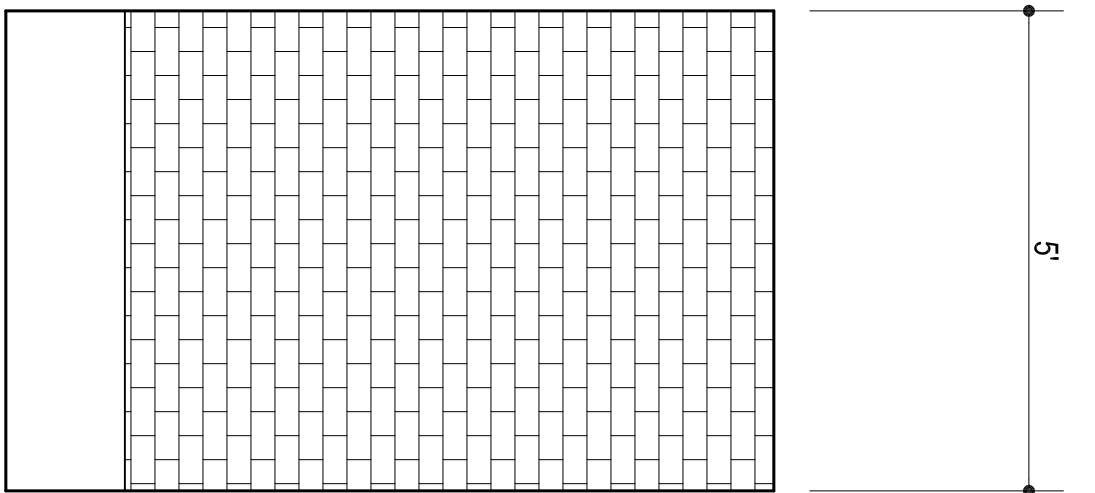
4D ENLARGED BATHROOM ELEVATION
UNIT 101 104 201 204 / UNIT 102 103 202 203 SIML. 1/12" = 1'-0"



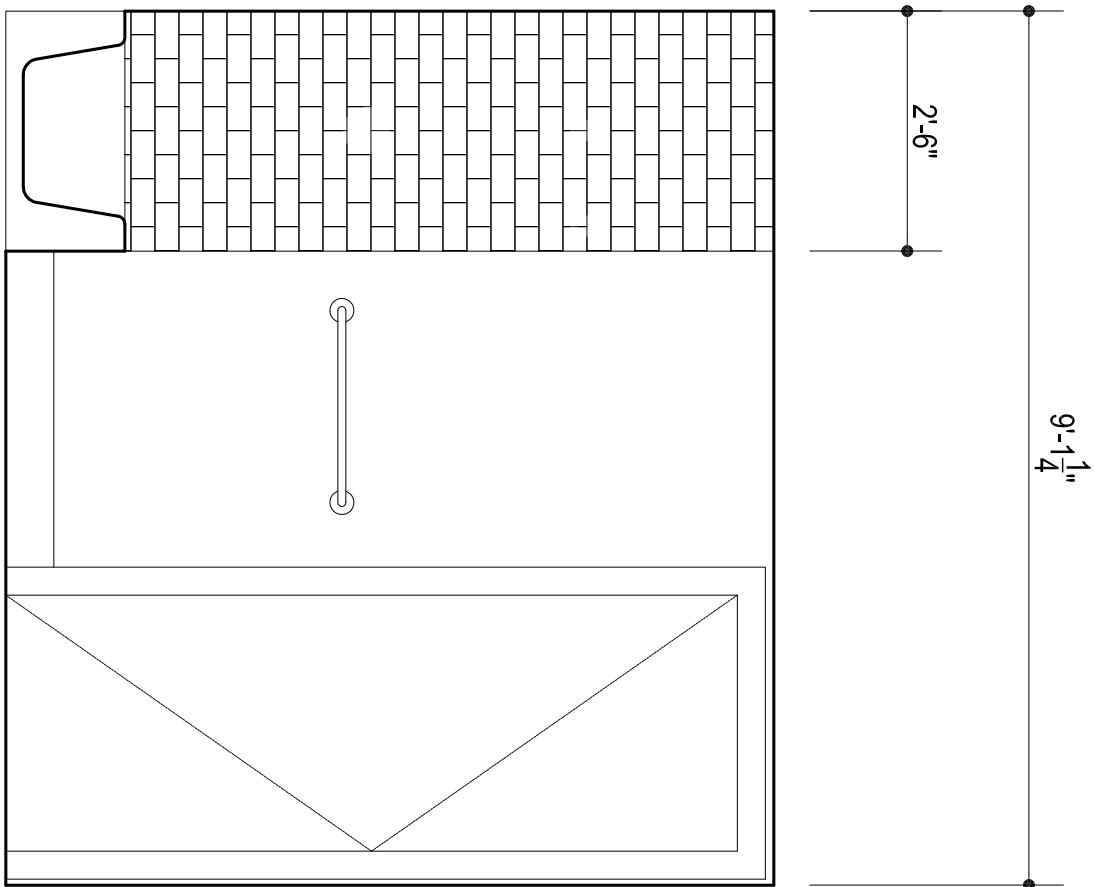
2 ENLARGED BATHROOM PLAN
UNIT 106 206 / UNIT 107 207 SIML. 1/12" = 1'-0"



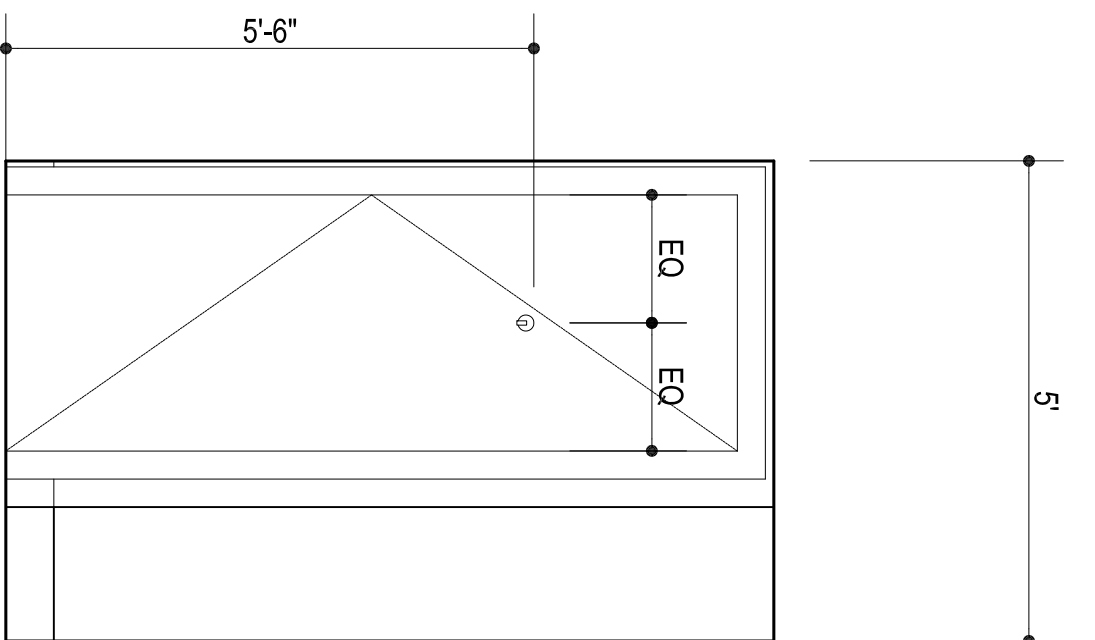
5A ENLARGED BATHROOM ELEVATION
UNIT 106 206 / UNIT 107 207 SIML. 1/12" = 1'-0"



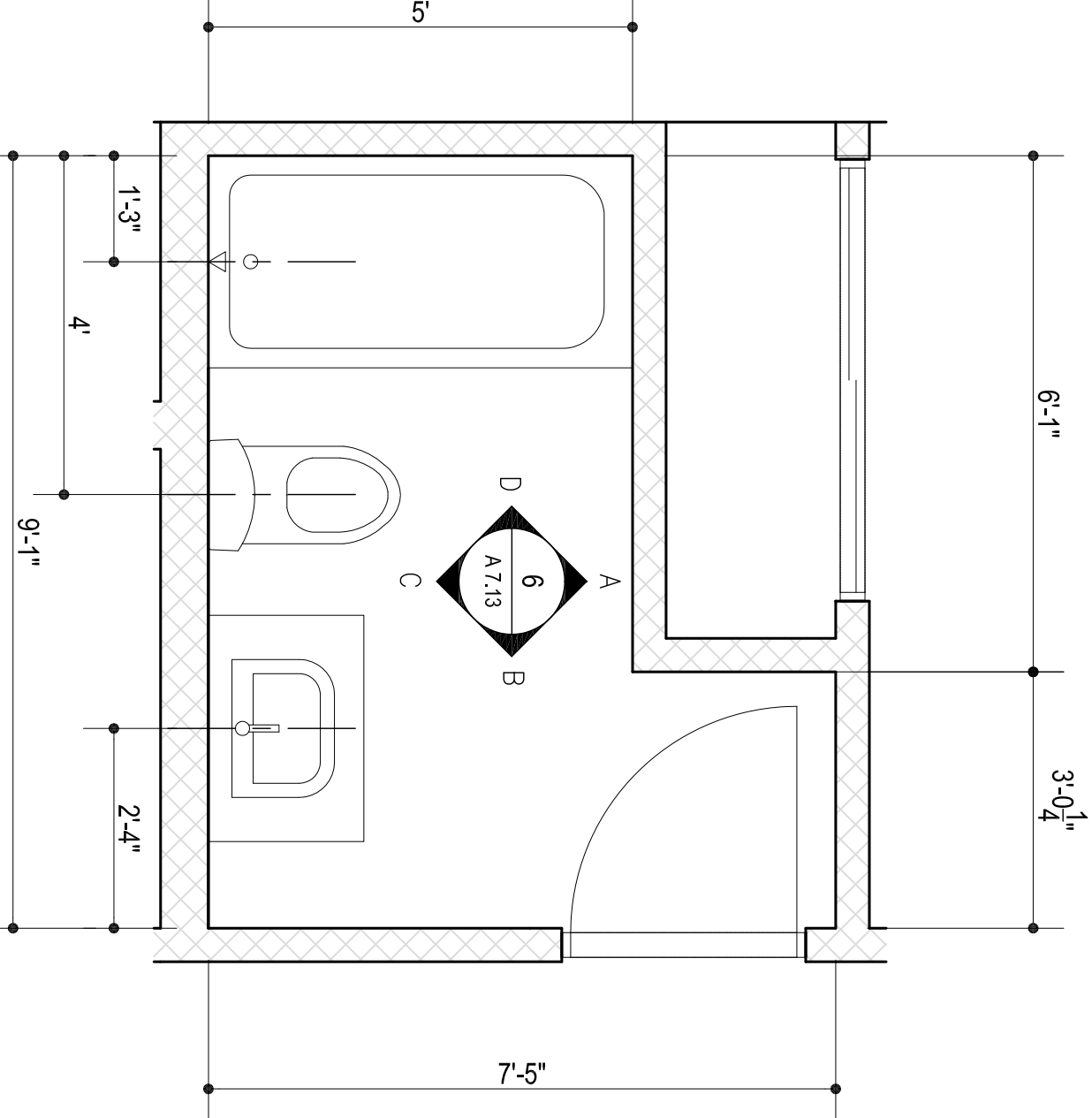
5B ENLARGED BATHROOM ELEVATION
UNIT 106 206 / UNIT 107 207 SIML. 1/12" = 1'-0"



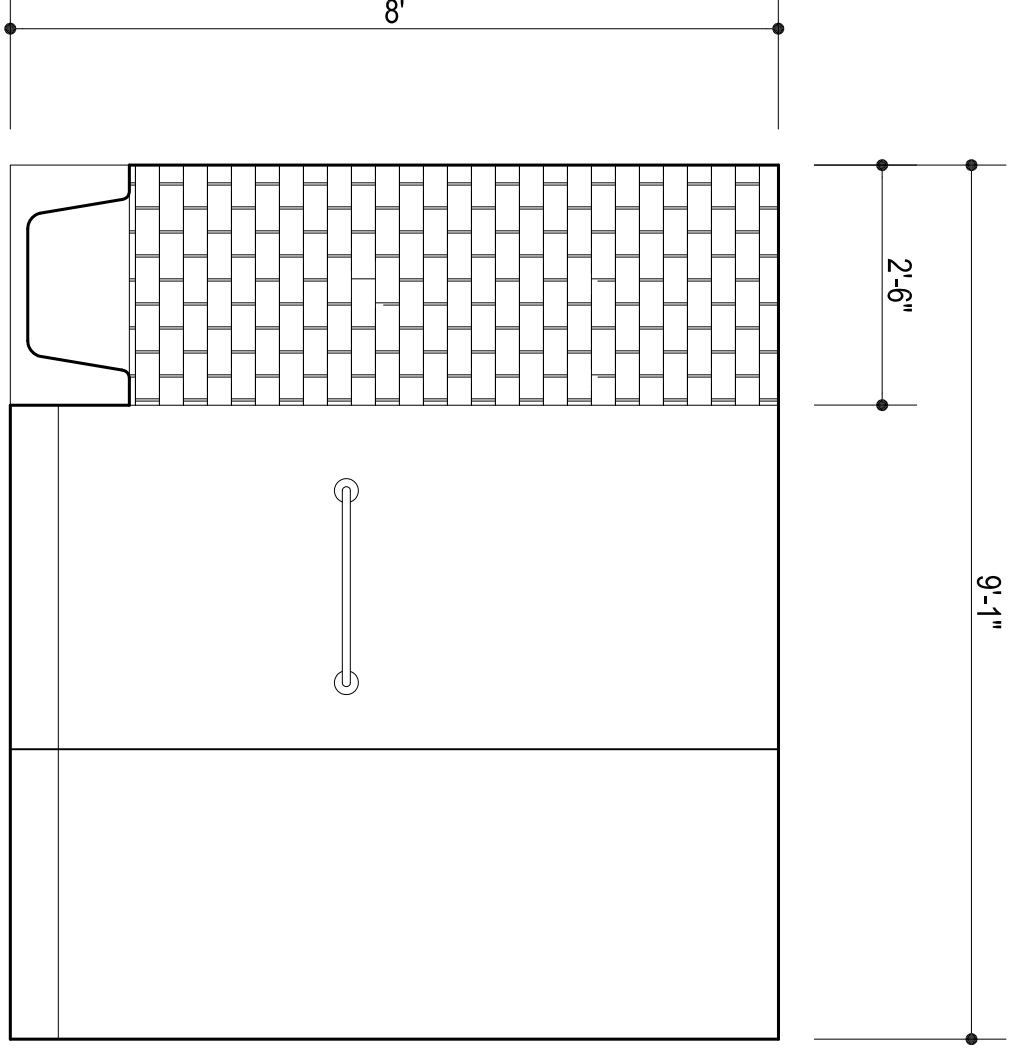
5C ENLARGED BATHROOM ELEVATION
UNIT 106 206 / UNIT 107 207 SIML. 1/12" = 1'-0"



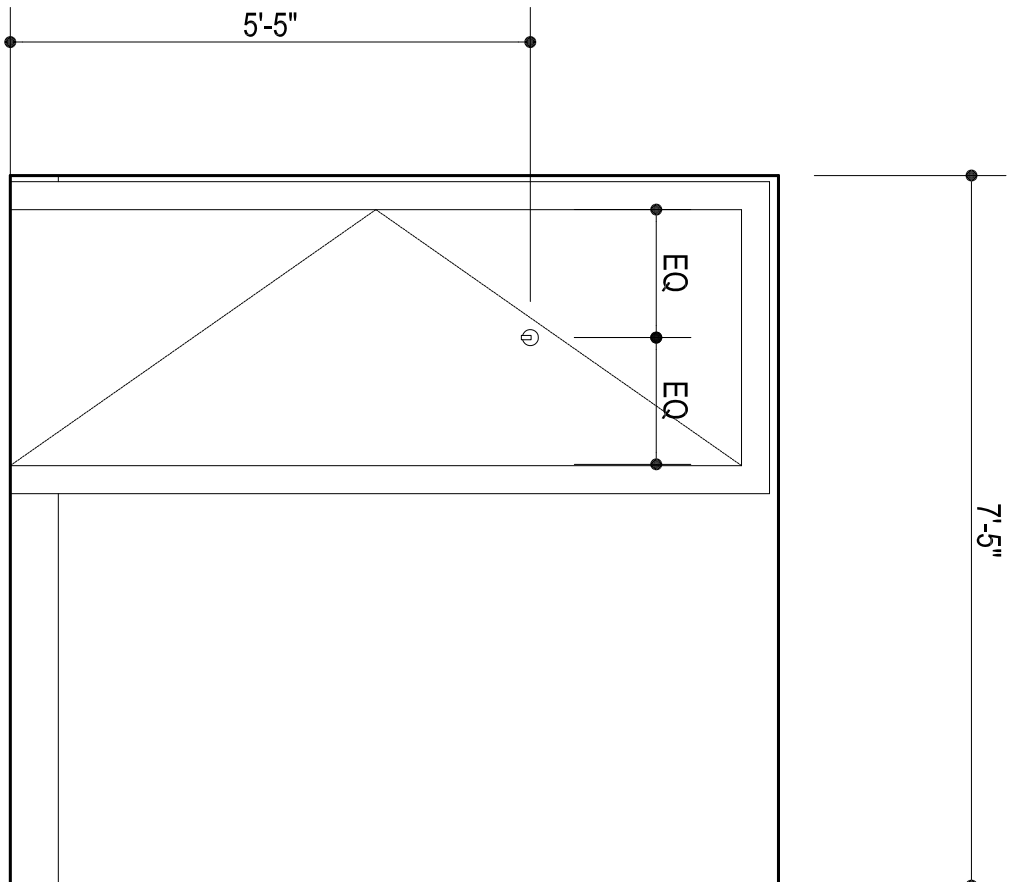
5D ENLARGED BATHROOM ELEVATION
UNIT 106 206 / UNIT 107 207 SIML. 1/12" = 1'-0"



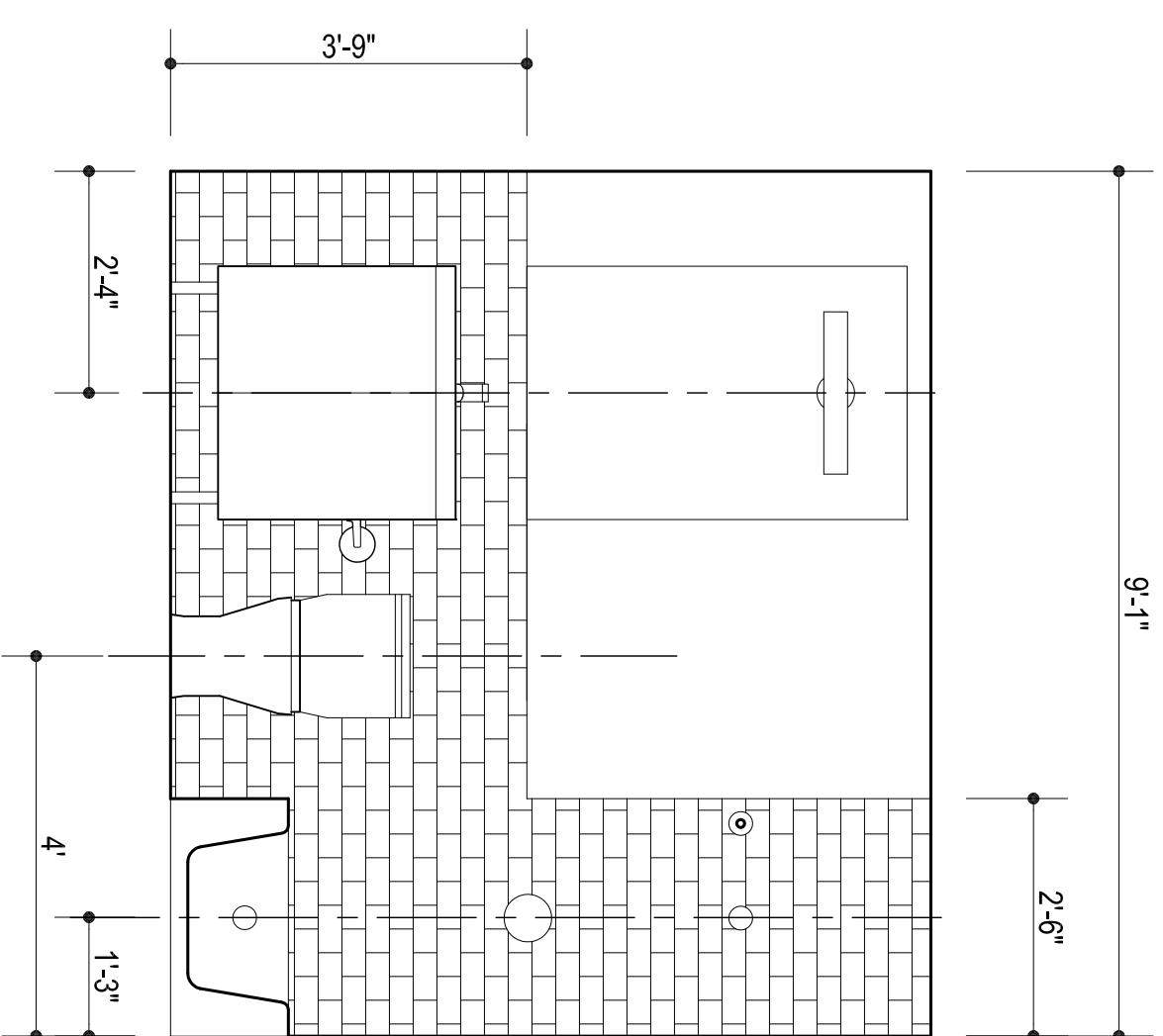
3 ENLARGED BATHROOM PLAN
UNIT 105 / 205 1/12" = 1'-0"



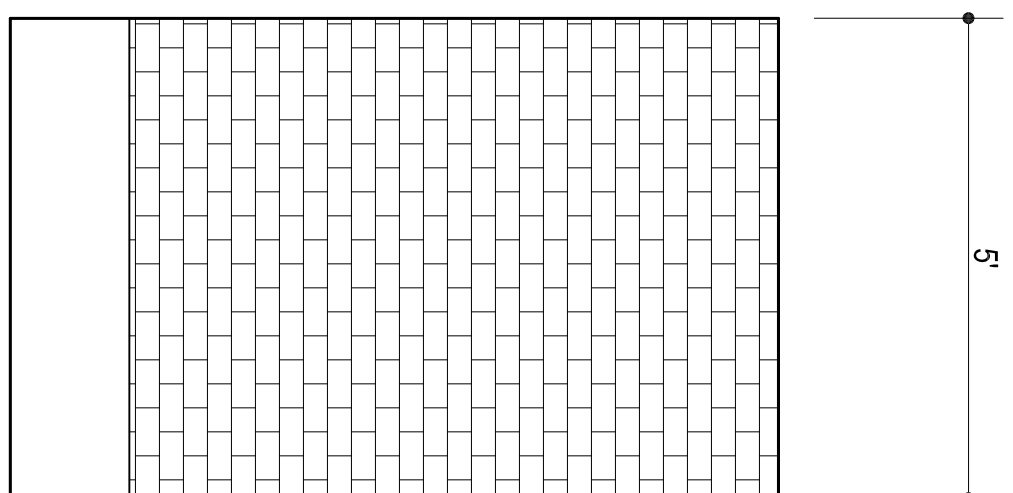
6A ENLARGED BATHROOM ELEVATION
UNIT 105 / 205 1/12" = 1'-0"



6B ENLARGED BATHROOM ELEVATION
UNIT 105 / 205 1/12" = 1'-0"



6C ENLARGED BATHROOM ELEVATION
UNIT 105 / 205 1/12" = 1'-0"



6D ENLARGED BATHROOM ELEVATION
UNIT 105 / 205 1/12" = 1'-0"

A7.13

**SCHOOL
HOUSE LOFTS**
DARTMOUTH STREET SCHOOL

13 DARTMOUTH STREET
WORCESTER, MA 02210

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CIVIL

REVISIONS

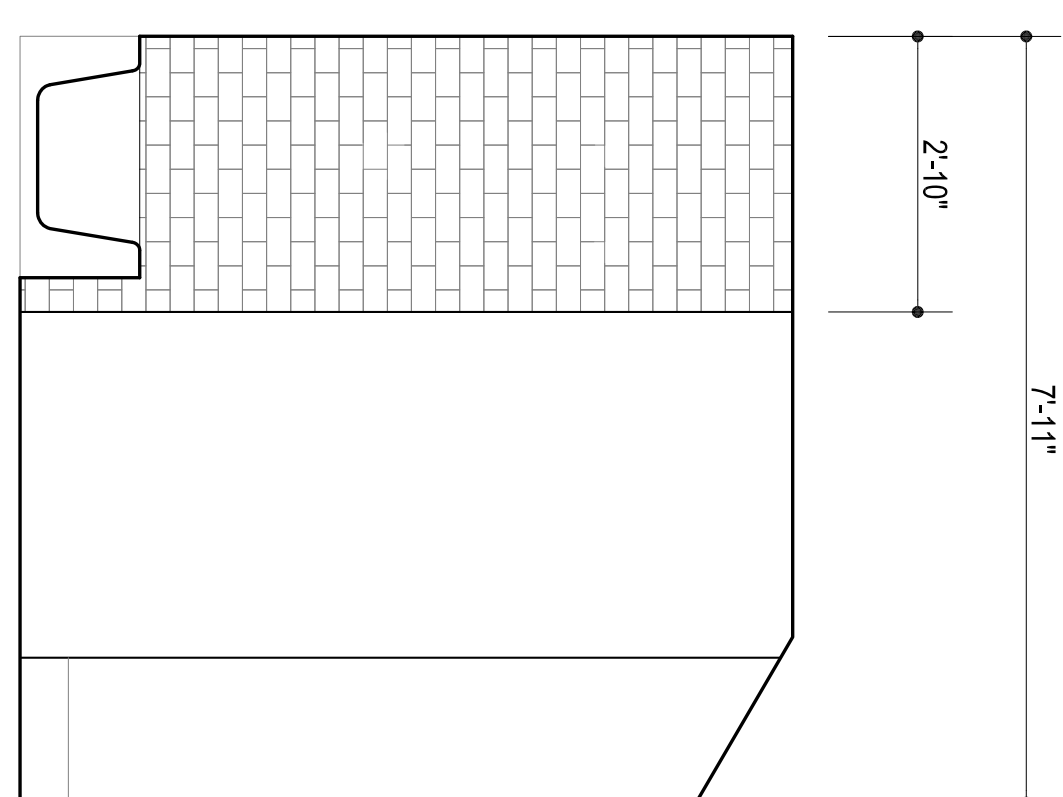
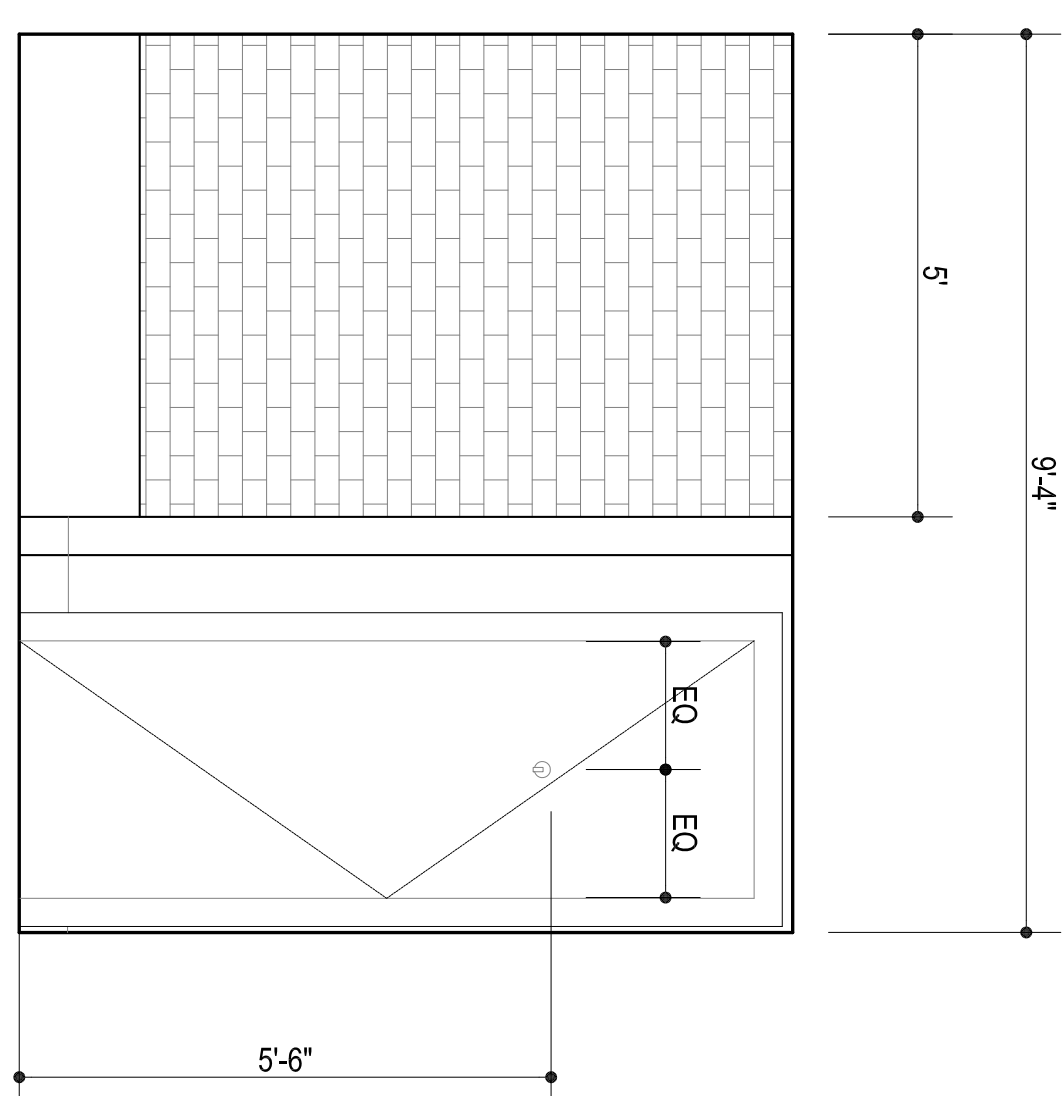
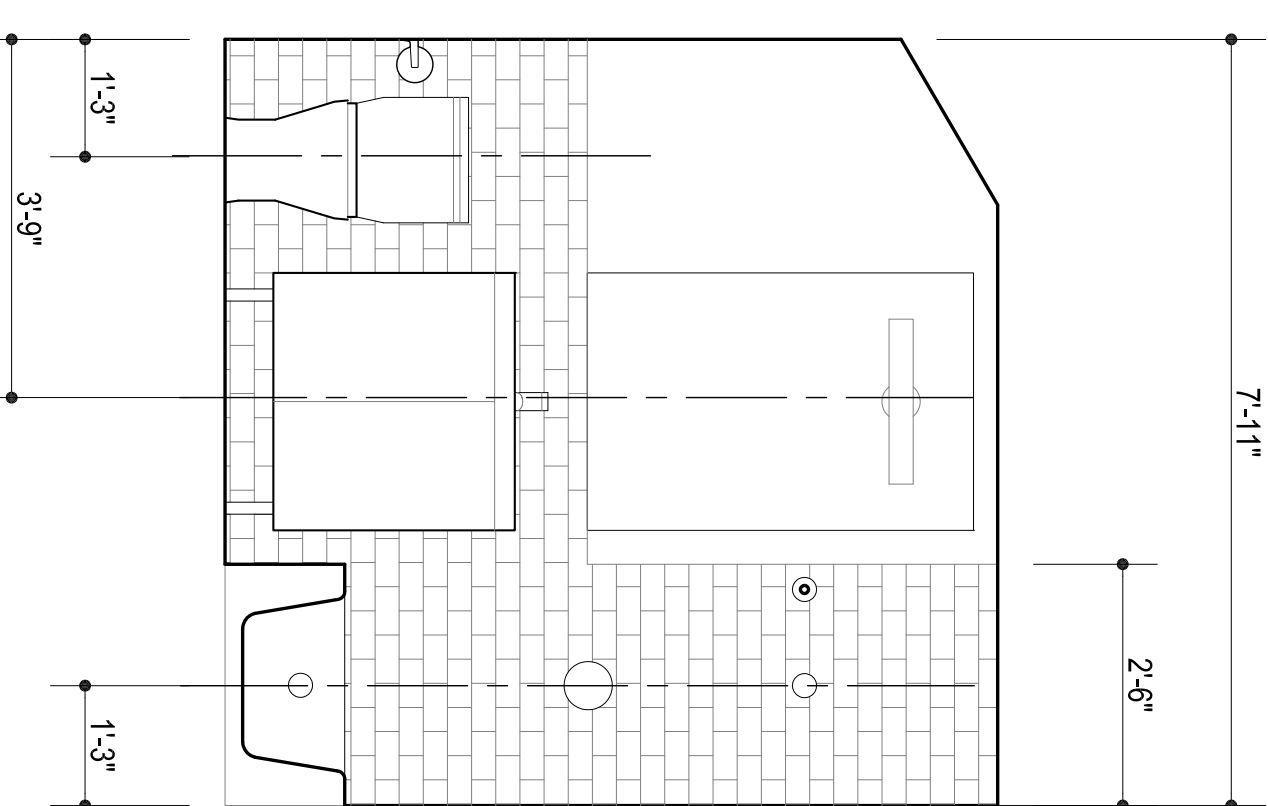
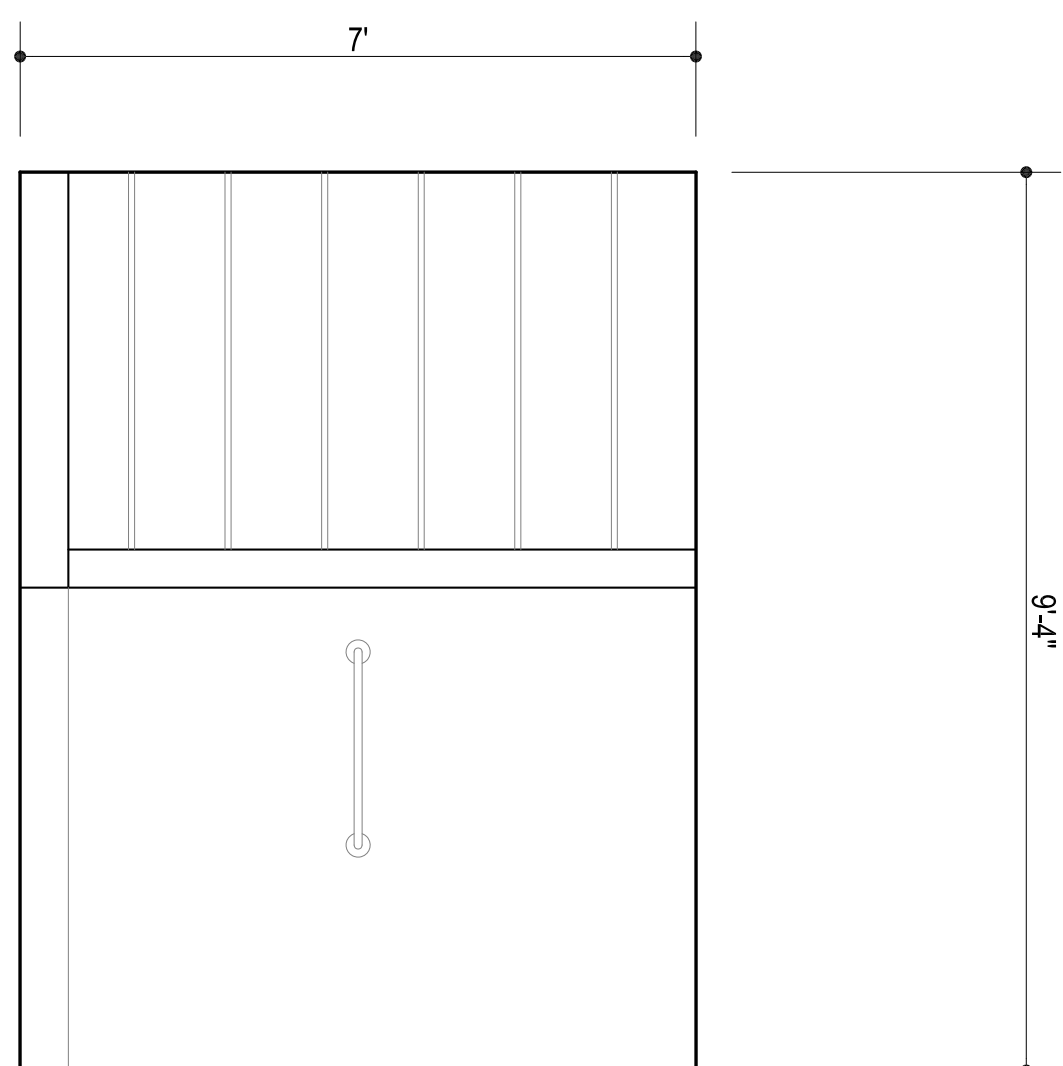
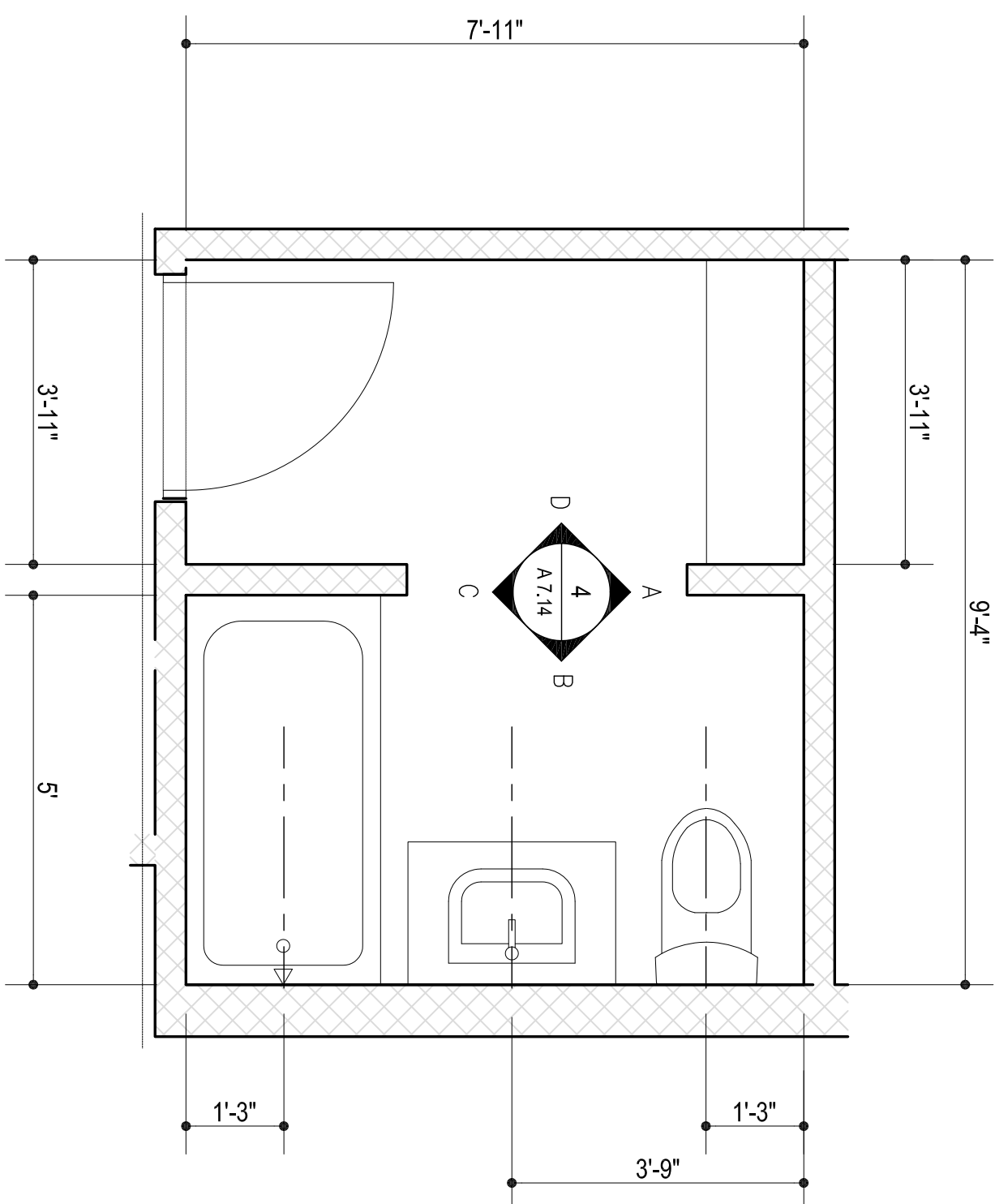
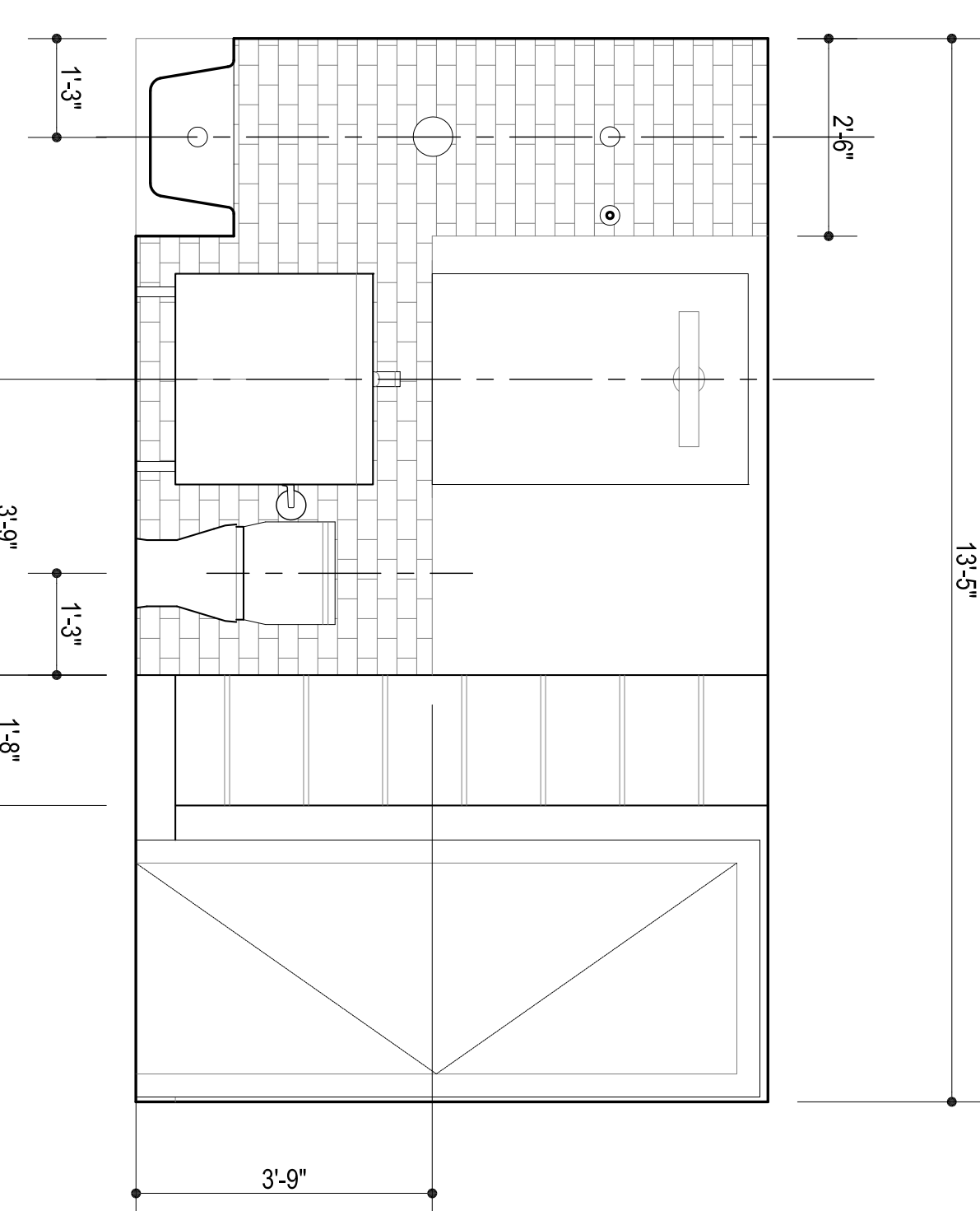
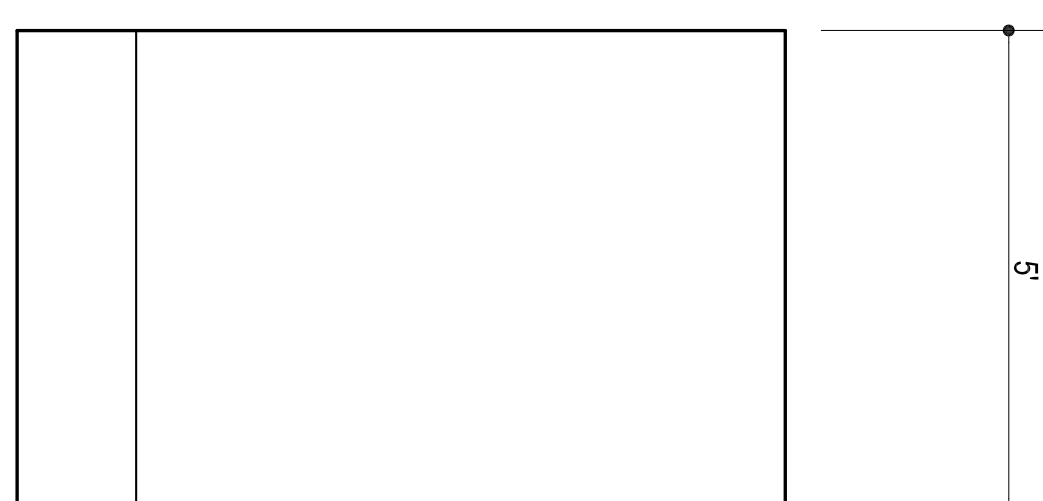
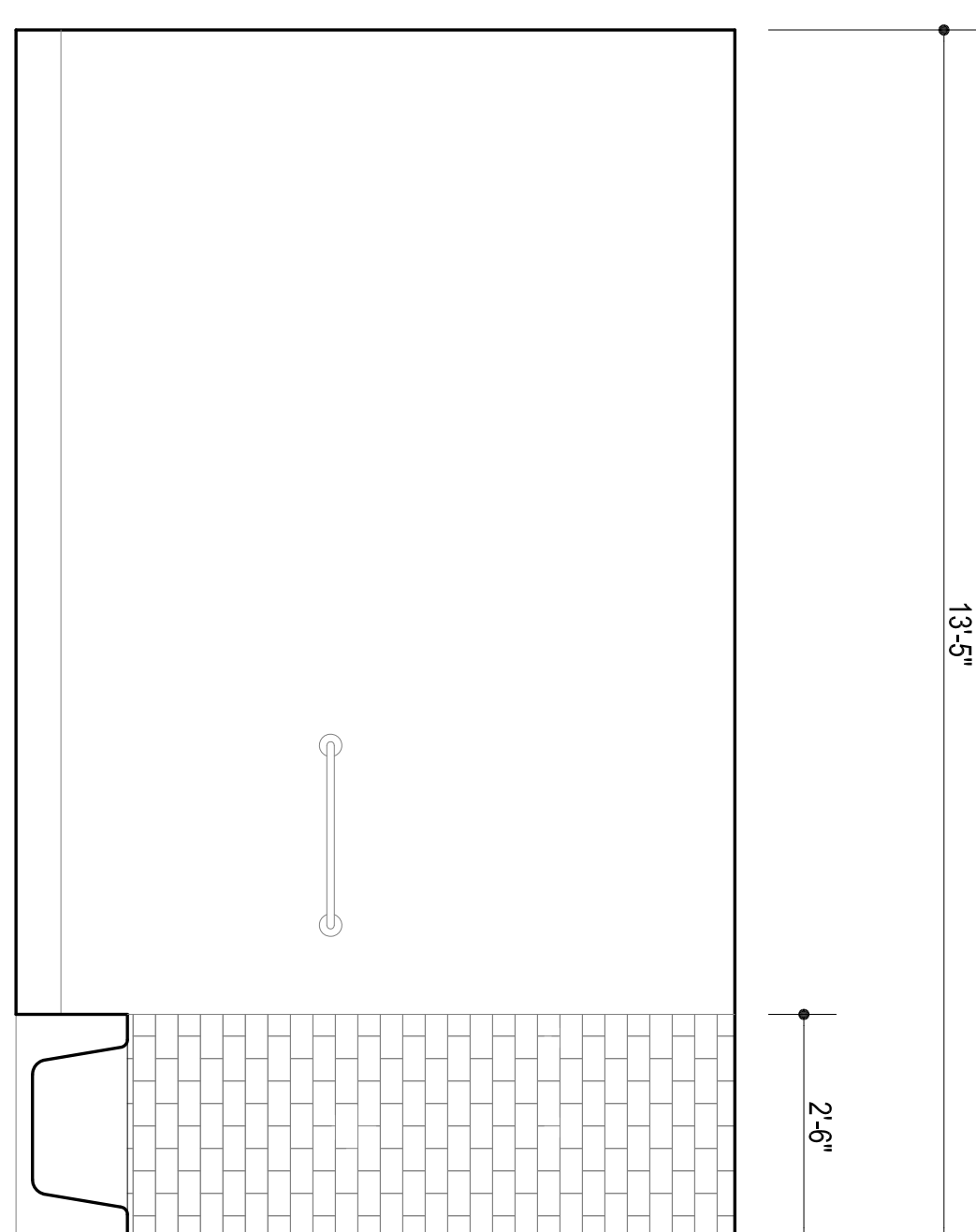
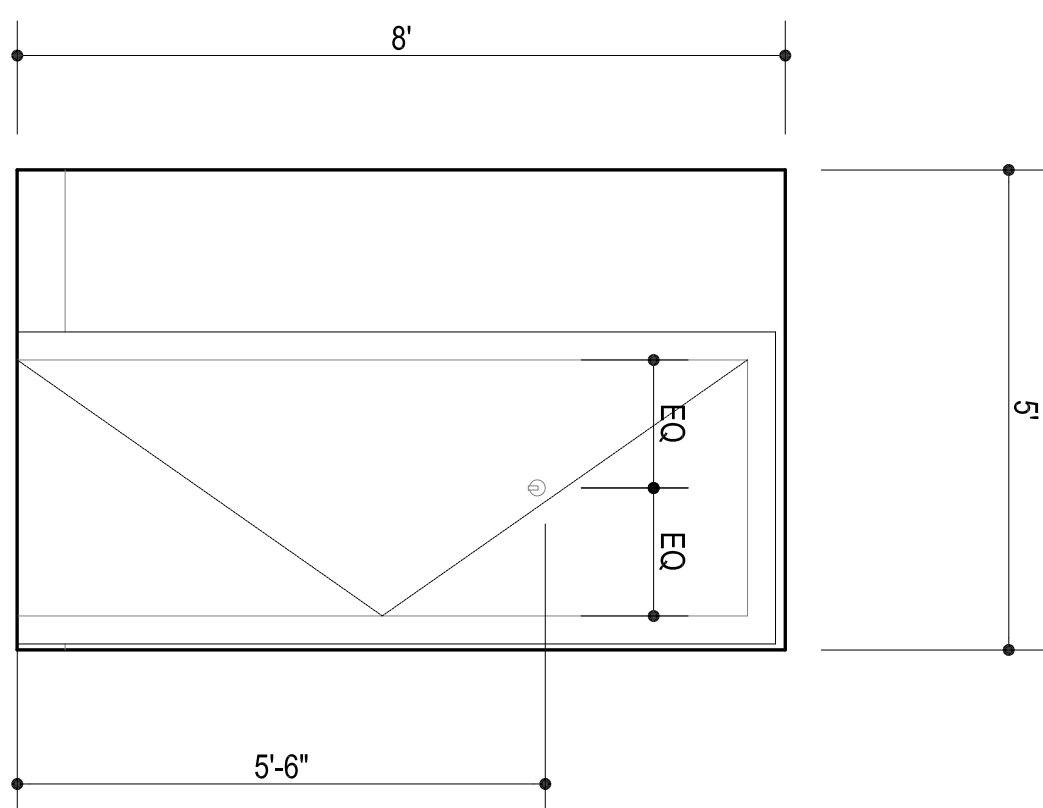
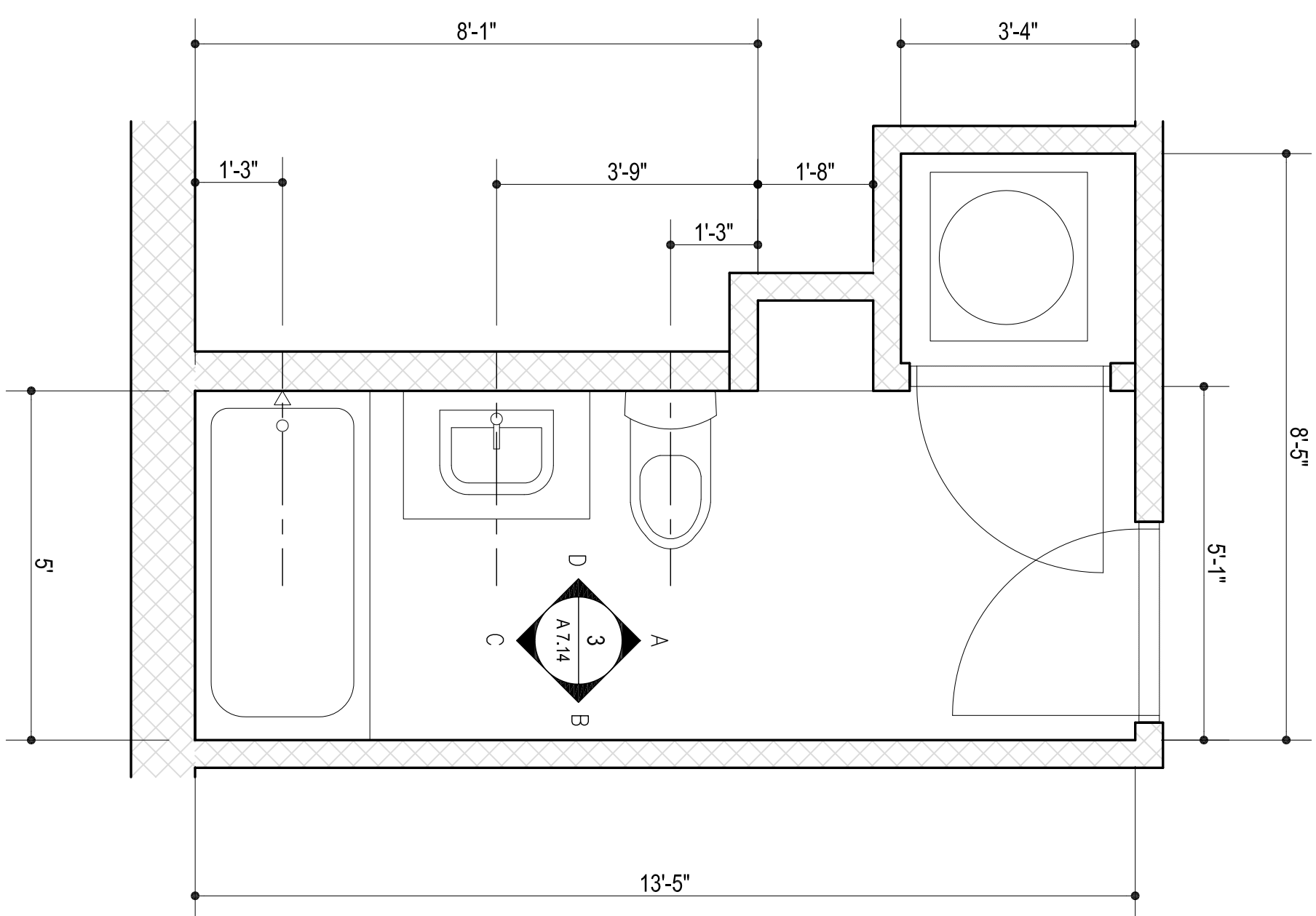
22-FEB-08 CD/PERMIT SET

SETNAME	DATE	TITLE
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ENLARGED BATHROOM PLANS & ELEVATIONS

SCALE	UTILITY PROJECT NUMBER
1/2" = 1'-0"	0707

A7.14



STAMP

SCHOOL
HOUSE LOFTS
DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PROJECT

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richmondsso.com

STRUCTURAL

ALLIED CONSULTING
216 BOSTON POST ROAD
SILVERBURY, MA 01778
T 978 443-7288 F 978 443-4636
alliedconsulting.net

FIRE ALARM

HAYES ENGINEERING, INC.
602 SALEM STREET
WAKEFIELD, MA 01880
T 781 246-2800 F 781 246-7596
hayeseng.com

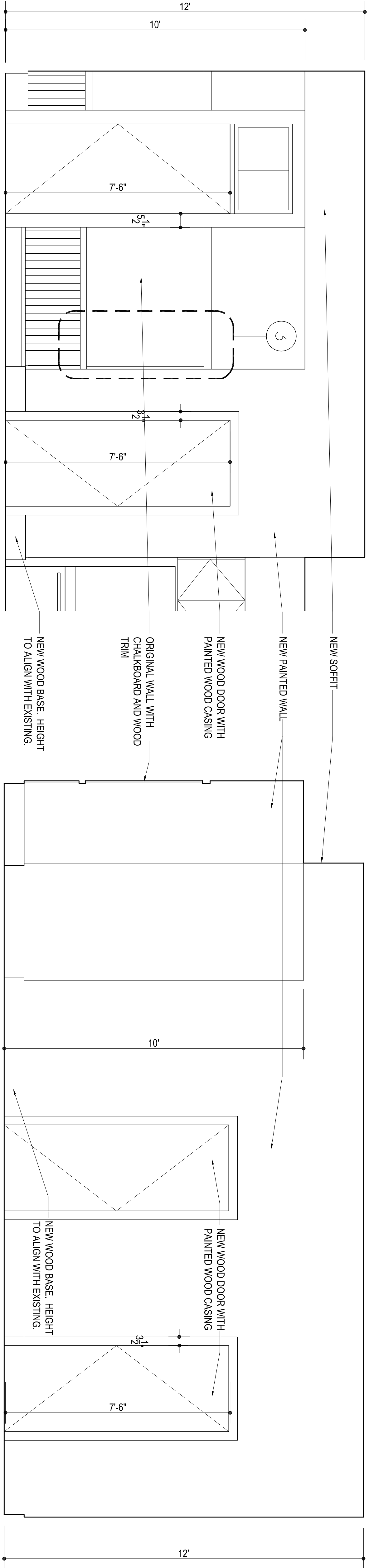
CIVIL

22-FEB-08	CD PERMIT SET	REVISIONS
DATE	SHEET	TITLE

INTERIOR ELEVATIONS

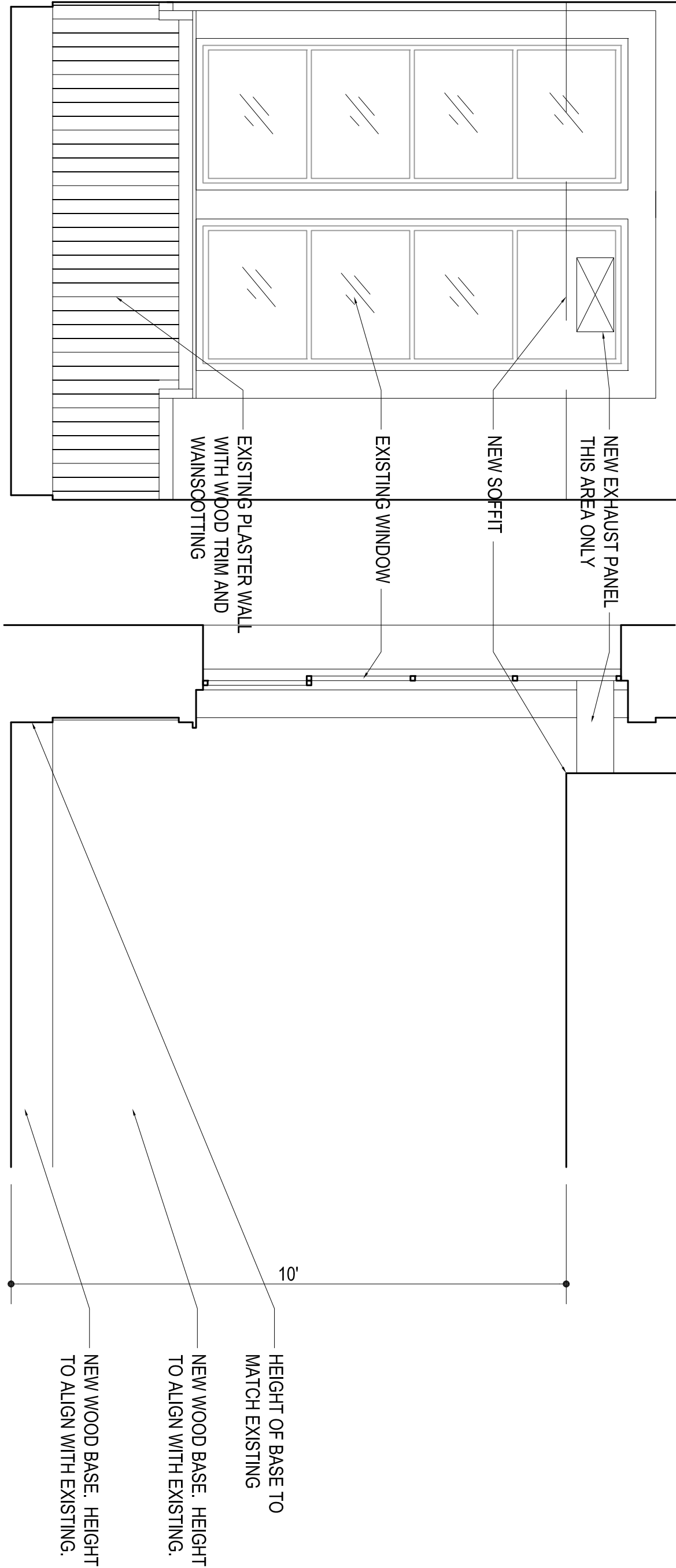
SCALE	UTIL PROJECT NUMBER
AS NOTED	0707
DRAWING NUMBER	

A 7.20



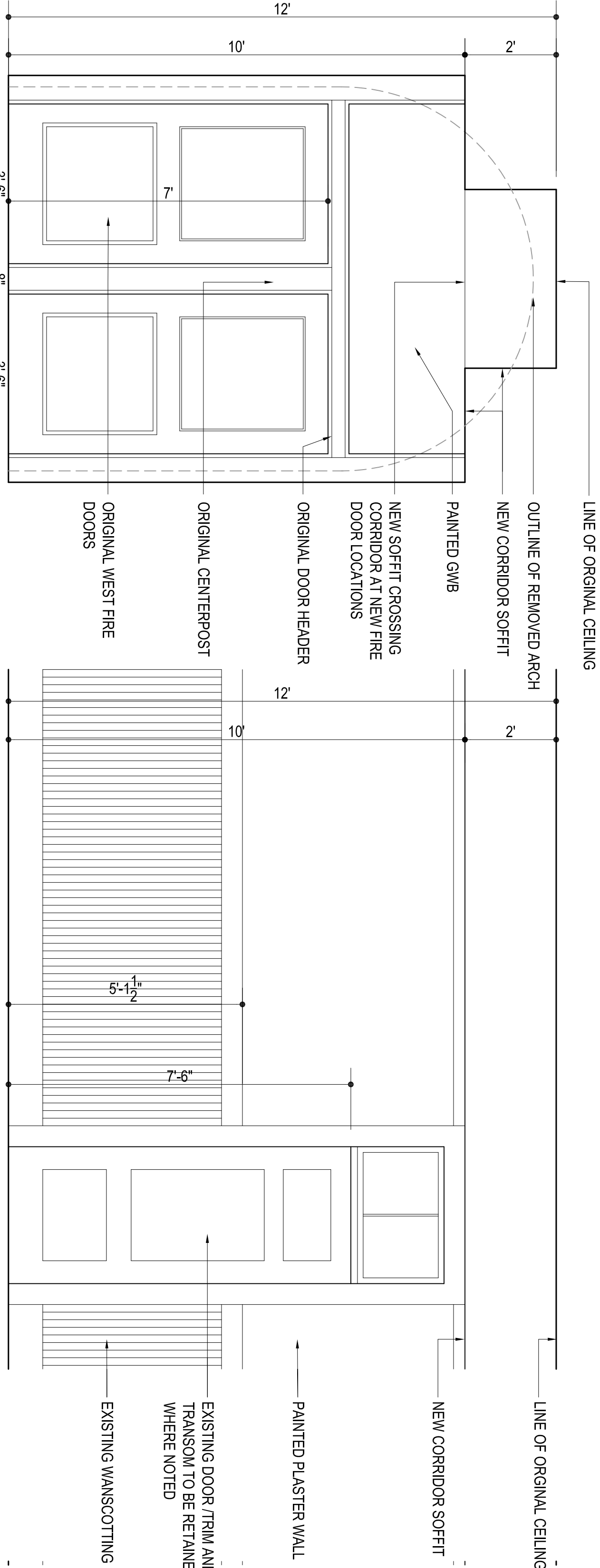
1A UNIT ENTRY WALL
1/2"=1'-0"

1B UNIT ENTRY WALL
1/2"=1'-0"



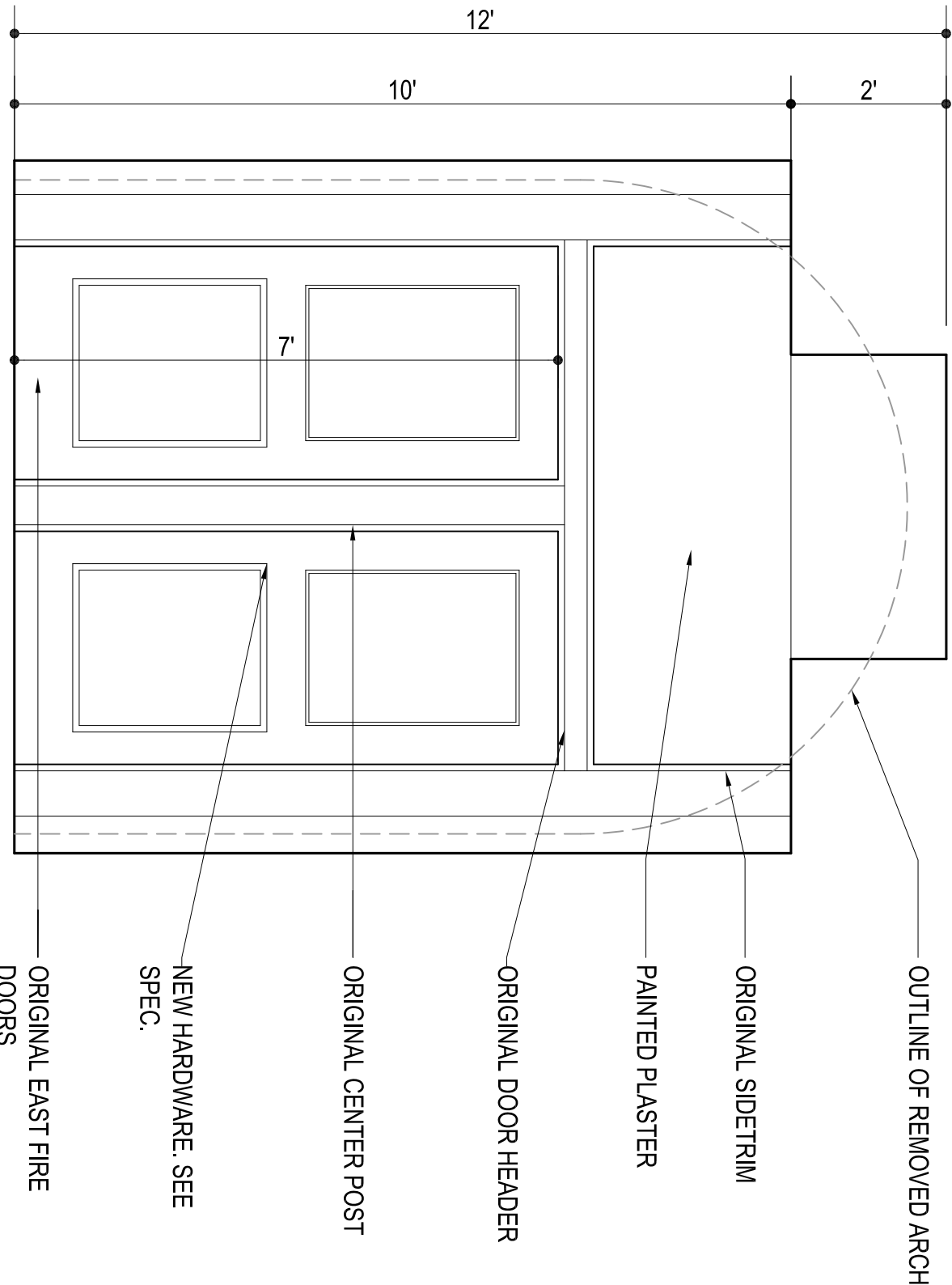
2A SOFFIT / HVAC DETAIL
1/2"=1'-0"

2B SOFFIT / HVAC DETAIL
1/2"=1'-0"



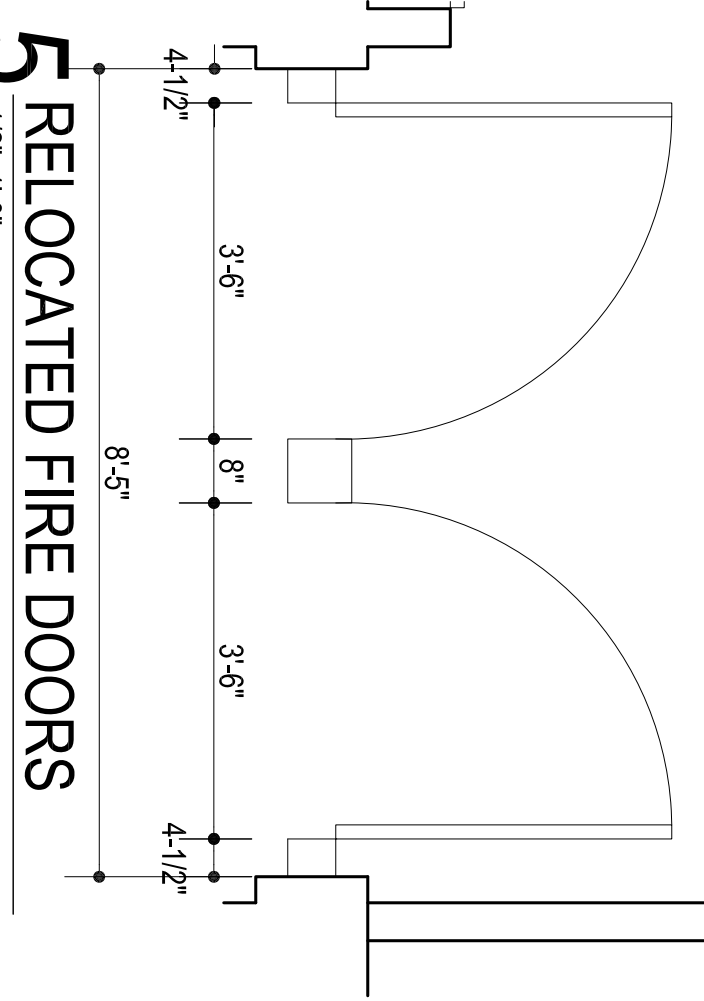
4A CORRIDOR WITH RELOCATED FIRE DOORS
1/2"=1'-0"

4B TYPICAL CORRIDOR WITH NEW SOFFIT
1/2"=1'-0"

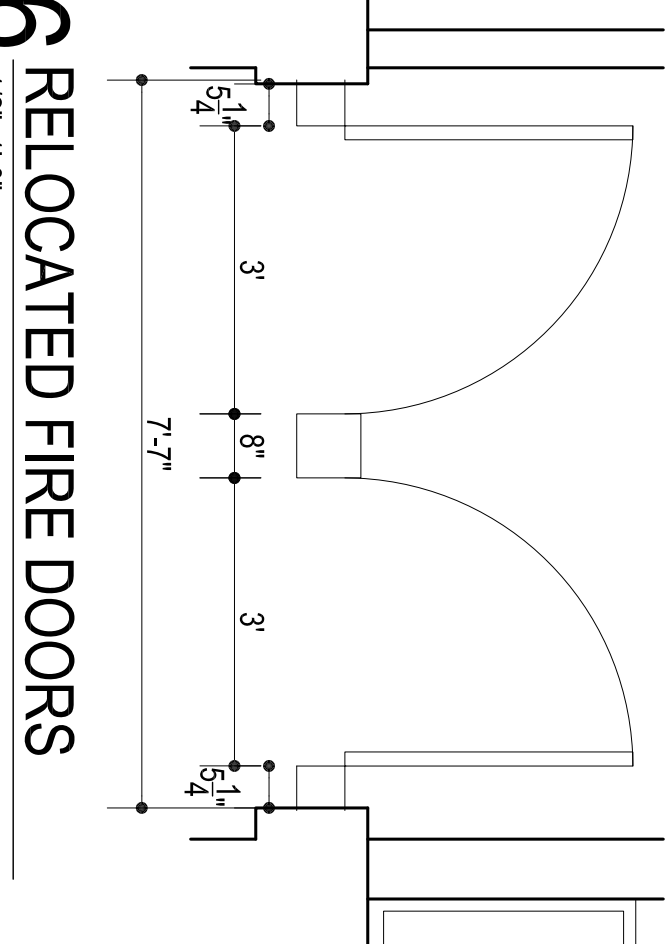


4C CORRIDOR WITH RELOCATED FIRE DOORS
1/2"=1'-0"

3 ENTRY DETAIL
3/8"=1'-0"



5 RELOCATED FIRE DOORS
1/2"=1'-0"



6 RELOCATED FIRE DOORS
1/2"=1'-0"

SCHOOL HOUSE LOFTS
DARTMOUTH STREET SCHOOL
13 DARTMOUTH STREET
WORCESTER, MA 02210

PRODUCT
LMM REALTY LLC
154 BROADWAY
SOMERVILLE, MA 02145
T 617 828-8900 F 617 623-0091

OWNER

utilite
ARCHITECTURE + URBAN DESIGN
50 SUMNER STREET
BOSTON, MA 02110
P 617 423-7200 F 617 423-1414
utilitedesign.com

ARCHITECT

CMD, LLC
104 BROADWAY
SOMERVILLE, MA 02145
T 617 623-5900 F 617 623-0091
cmdusa.com

CONTRACTOR

RICHMOND SO ENGINEERS
85 MAIN STREET
WATERTOWN, MA 02472
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richmondso.com

STRUCTURAL

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FIRE ALARM

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602 SALEM STREET
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CIVIL

4 SECOND FLOOR DOOR SCHEDULE

DOOR SCHEDULE														
NO.	OPENING LOCATION	TYPE	MAT.	FINISH	WIDTH	HEIGHT	THK.	HEAD	JAMB	SILL	FIRE RATING	HOW SET	REMARKS	
COMMON SPACES														
200.1	UNIT 200 ENTRY	-	-	PTD	-	-	-	-	-	-	45 MINUTES	-	EXISTING TO REMAIN	
200.2	CORRIDOR	D	WO	PTD	6'-0"	7'-0"	1-3/4"	-	-	-	1 HR	-	REUSE SALVAGED DOOR	
200.3	ELECTRIC ROOM	A	WO	PTD	5'-0"	7'-6"	1-3/4"	-	-	-	45 MINUTES	10	EXISTING TO REMAIN	
200.4	UNIT 200 ENTRY	-	-	PTD	-	-	-	-	-	-	-	-	EXISTING TO REMAIN	
200.6	CORRIDOR	-	-	-	2'-3'-0"	-	-	-	-	-	-	-	REUSE SALVAGED DOOR	
200.7	EAST STAIR ENTRY	A	WO	PTD	3'-0"	7'-6"	1-3/4"	-	-	-	1 HR	05	EXISTING TO REMAIN	
200.8	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
200.9	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
201.1	STUDY	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
201.2	UTILITY	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
201.3	STUDY	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
201.4	UTILITY	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
201.5	STUDY	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
201.6	BEREADOM CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
201.7	BEREADOM CLOSET	E	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
201.8	BEREADOM CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
201.9	BEREADOM CLOSET	E	WO	PTD	4'-4"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
202.1	ENTRY	-	-	-	3'-0"	7'-6"	1-3/4"	-	-	-	45 MINUTES	08	EXISTING TO REMAIN	
202.2	ENTRY CLOSET	A	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
202.3	ENTRY CLOSET	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
202.4	UTILITY	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
202.5	STUDY	-	-	-	-	-	-	-	-	-	-	-	EXISTING TO REMAIN	
202.6	BEREADOM CLOSET	A	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
202.7	BEREADOM CLOSET	E	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN	
202.8	BEREADOM CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
202.9	BEREADOM CLOSET	E	WO	PTD	5'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN	
203.1	ENTRY	-	-	-	3'-0"	7'-6"	1-3/4"	-	-	-	45 MINUTES	08	EXISTING TO REMAIN	
203.2	ENTRY CLOSET	A	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
203.3	ENTRY CLOSET	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
203.4	UTILITY	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
203.5	STUDY	-	-	-	-	-	-	-	-	-	-	-	EXISTING TO REMAIN	
203.6	BEREADOM CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
203.7	BEREADOM CLOSET	E	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN	
203.8	BEREADOM CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
203.9	BEREADOM CLOSET	E	WO	PTD	5'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN	
204.1	ENTRY CLOSET	-	-	-	3'-0"	7'-6"	1-3/4"	-	-	-	45 MINUTES	08	EXISTING TO REMAIN	
204.2	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
204.3	BATHROOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
204.4	UTILITY	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
204.5	STUDY	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
204.6	BEREADOM CLOSET	E	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN	
204.7	BEREADOM CLOSET	E	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
204.8	BEREADOM CLOSET	E	WO	PTD	4'-4"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN	
204.9	BEREADOM CLOSET	E	WO	PTD	4'-4"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN	
205.1	KITCHEN	D	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
205.2	UTILITY	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
205.3	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	04	EXISTING TO REMAIN	
205.4	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	04	EXISTING TO REMAIN	
205.5	BATHROOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
205.6	BATHROOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
205.7	BEREADOM CLOSET	E	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN	
206.1	ENTRY	-	-	-	3'-0"	7'-6"	1-3/4"	-	-	-	45 MINUTES	08	EXISTING TO REMAIN	
206.2	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
206.3	BATHROOM	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
206.4	UTILITY	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
206.5	STUDY	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
206.6	BEREADOM CLOSET	E	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN	
206.7	ENTRY	-	-	-	3'-0"	7'-6"	1-3/4"	-	-	-	45 MINUTES	08	EXISTING TO REMAIN	
206.8	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
206.9	ENTRY CLOSET	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
207.1	LIVING ROOM ENTRY	A	WO	PTD	3'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	45 MINUTES	08	EXISTING TO REMAIN
207.2	ENTRY	-	-	-	3'-0"	7'-6"	1-3/4"	-	-	-	-	-	EXISTING TO REMAIN	
207.3	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
207.4	BATHROOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
207.5	UTILITY	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN	
207.6	BATHROOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN	
207.7	BEREADOM CLOSET	E	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN	

WD = SOLID CORE WOOD
GL1 = CLEAR TEMPERED GLASS
GL2 = WIRED SAFETY GLASS
AL1 = ALUMINUM
AL2 = ALUMINUM W SINGLITE
AL3 = ALUMINUM & GLASS
HM = HOLLOW METAL
PTD = FACTORY PRIMED + PAINTED, COLOR T.B.D., SHEEN T.B.D.

NOTES:
ALL GLASS IN DOORS SHALL BE TEMPERED OR LAMINATED SAFETY GLASS.
CROSS CHECK ALL DIMENSIONS WITH MANUFACTURER LISTINGS.
VERIFY SISING AND HANDING WITH PLAN PRIOR TO INSTALLATION.

2 BASEMENT DOOR SCHEDULE

DOOR SCHEDULE													REMARKS
NO.	OPENING LOCATION	TYPE	MAT	FINISH	WIDTH	HEIGHT	THK.	HEAD	JAMB	SILL	FIRE RATING	HOW SET	REMARKS
COMMON SPACES													
100.1	BLOG ENTRY	H	AL3	PTD	6'-0"	-	-	-	-	-	-	-	NEW'S OPERANT DOOR RE-PAINT EXISTING DOOR
100.2	BLOG ENTRY	H	AL3	PTD	6'-0"	-	-	-	-	-	-	-	NEW'S OPERANT DOOR RE-PAINT EXISTING DOOR
100.3	WEST STAIR BASEMENT	-	-	PTD	4'-6"	-	-	-	-	-	-	-	RE-PAINT EXISTING DOOR EXISTING TO REMAIN
100.4	CORRIDOR	-	-	PTD	2'-3'-6"	-	-	-	-	-	-	-	EXISTING TO REMAIN
100.5	STUDY	-	-	PTD	3'-0"	7'-6"	1-3/4"	-	-	-	-	10	NEW FIRE DOOR
100.6	BATHROOM	D	WO	PTD	6'-0"	7'-0"	1-3/4"	-	-	-	-	-	NEW'S OPERANT DOOR RE-PAINT EXISTING TO REMAIN
100.7	BATHROOM	H	AL3	PTD	6'-0"	-	-	-	-	-	-	-	NEW'S OPERANT DOOR RE-PAINT EXISTING TO REMAIN
100.8	BATH RESTRIABLE	-	-	-	-	-	-	-	-	-	-	-	NEW'S OPERANT DOOR RE-PAINT EXISTING TO REMAIN
100.9	BATH RESTRIABLE	-	-	-	-	-	-	-	-	-	-	-	NEW'S OPERANT DOOR RE-PAINT EXISTING TO REMAIN
100.10	BATH RESTRIABLE	-	-	-	-	-	-	-	-	-	-	-	NEW'S OPERANT DOOR RE-PAINT EXISTING TO REMAIN
100.11	BATH RESTRIABLE	-	-	-	-	-	-	-	-	-	-	-	NEW'S OPERANT DOOR RE-PAINT EXISTING TO REMAIN
100.12	BATH RESTRIABLE	-	-	-	-	-	-	-	-	-	-	-	NEW'S OPERANT DOOR RE-PAINT EXISTING TO REMAIN
100.13	BATH RESTRIABLE	-	-	-	-	-	-	-	-	-	-	-	NEW'S OPERANT DOOR RE-PAINT EXISTING TO REMAIN
100.14	BATH RESTRIABLE	-	-	-	-	-	-	-	-	-	-	-	NEW'S OPERANT DOOR RE-PAINT EXISTING TO REMAIN
101.2	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	45 MINUTES	EXISTING TO REMAIN
101.3	BATHROOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
101.4	BATHROOM	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
101.6	BEREADOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
101.7	BEREADOM CLOSET	E	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN
101.8	BEREADOM CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
101.9	BEREADOM CLOSET	E	WO	PTD	4'-4"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN
102.2	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	45 MINUTES	EXISTING TO REMAIN
102.4	BATHROOM	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
102.5	BATHROOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN
102.6	BEREADOM CLOSET	A	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN
102.7	BEREADOM CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
102.8	BEREADOM CLOSET	E	WO	PTD	5'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN
103.1	ENTRY CLOSET	-	-	PTD	3'-0"	7'-6"	1-3/4"	-	-	-	45 MINUTES	08	EXISTING TO REMAIN
103.3	BATHROOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
103.4	UTILITY	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN
103.5	STUDY	-	-	-	-	-	-	-	-	-	-	-	EXISTING TO REMAIN
103.6	BEREADOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
103.7	BEREADOM CLOSET	E	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN
103.8	BEREADOM CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
103.9	BEREADOM CLOSET	E	WO	PTD	5'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN
104.1	ENTRY CLOSET	-	-	PTD	3'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	45 MINUTES	EXISTING TO REMAIN
104.3	BATHROOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
104.4	BATHROOM	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN
104.5	UTILITY	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
104.6	BEREADOM CLOSET	E	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN
104.7	BEREADOM CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
104.8	BEREADOM CLOSET	E	WO	PTD	5'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN
104.9	BEREADOM CLOSET	E	WO	PTD	4'-4"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN
106.2	KITCHEN	-	-	-	-	-	-	-	-	-	-	-	EXISTING TO REMAIN
106.3	UTILITY	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN
106.4	ENTRY CLOSET	D	WO	PTD	5'-3/4"	7'-6"	1-3/4"	146.10	246.10	246.10	-	04	EXISTING TO REMAIN
106.5	BATHROOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
106.6	BATHROOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
106.7	BEREADOM CLOSET	E	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN
106.8	BEREADOM CLOSET	E	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN
106.9	BEREADOM CLOSET	E	WO	PTD	5'-0"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN
106.1	ENTRY	-	-	-	-	-	-	-	-	-	45 MINUTES	08	EXISTING TO REMAIN
106.2	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN
106.3	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN
106.4	ENTRY CLOSET	B	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN
106.5	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN
106.6	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN
106.7	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN
106.8	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN
106.9	ENTRY CLOSET	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN
107.2	LIVING ROOM ENTRY	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	01	EXISTING TO REMAIN
107.3	BATHROOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
107.4	BATHROOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
107.5	BATHROOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
107.6	BATHROOM	A	WO	PTD	2'-8"	7'-6"	1-3/4"	146.10	246.10	246.10	-	02	EXISTING TO REMAIN
107.7	BEREADOM CLOSET	B	WO	PTD	4'-4"	7'-6"	1-3/4"	146.10	246.10	246.10	-	09	EXISTING TO REMAIN

NOTES:
1. ALL GLASS IS CLEAR TEMPERED GLASS.
2. ALL GLASS IS TO BE TEMPERED OR LAMINATED SAFETY GLASS.
3. ALL GLASS IS TO BE CHECKED FOR CRACKS AND DEFECTS PRIOR TO INSTALLATION.
4. ALL GLASS IS TO BE CHECKED FOR CRACKS AND DEFECTS PRIOR TO INSTALLATION.
5. ALL GLASS IS TO BE CHECKED FOR CRACKS AND DEFECTS PRIOR TO INSTALLATION.
6. ALL GLASS IS TO BE CHECKED FOR CRACKS AND DEFECTS PRIOR TO INSTALLATION.
7. ALL GLASS IS TO BE CHECKED FOR CRACKS AND DEFECTS PRIOR TO INSTALLATION.
8. ALL GLASS IS TO BE CHECKED FOR CRACKS AND DEFECTS PRIOR TO INSTALLATION.
9. ALL GLASS IS TO BE CHECKED FOR CRACKS AND DEFECTS PRIOR TO INSTALLATION.
10. ALL GLASS IS TO BE CHECKED FOR CRACKS AND DEFECTS PRIOR TO INSTALLATION.

W1 = SOLID CORE WOOD
G1 = CLEAR TEMPERED GLASS
G2 = CLEAR TEMPERED GLASS
A1 = ALUMINUM
A2 = ALUMINUM W/ SQUELITE
A3 = ALUMINUM A GLASS
PD = FACTORY FINISH - PAINTED - COLOR TBD. SHEET 1.0

2 BASEMENT DOOR SCHEDULE

